

**Invitation for Bids**

**Maluhia ADA Renovations  
25L-1126**

The Hawaii Health Systems Corporation (HHSC) Oahu Region is requesting bids from qualified companies for the ADA renovations at Maluhia located at 1027 Hala Drive, Honolulu, Hawaii 96817

The IFB may be obtained electronically from the following website:

<http://maluhia.hhsc.org/procurement/notices/>

A site visit is scheduled for December 11, 2025 at 10:30 a.m. All interested companies shall meet in the Maluhia Parking Lot entrance area. The deadline for submission of written/mailed questions pertaining to the IFB is December 19, 2025.

All bids must be received by HHSC by January 7, 2026, 2:00 p.m. Hawaii Standard Time. All bids shall be sent digitally to [oahucip@hhsc.org](mailto:oahucip@hhsc.org). E-mail bids not received by deadline will be disqualified for consideration. No exceptions will be made even if network provider or software (e.g. MS Outlook) delays delivery. Please note that large files (>10MB) may experience network delivery issues.

Addenda to the IFB will be posted on the website listed above.

For any inquiries, please contact Todd Nordstrom, Oahu Region CIP Coordinator, at (808) 767-0526 or by email at [tnordstrom@hhsc.org](mailto:tnordstrom@hhsc.org).

Leahi Hospital  
3675 Kilauea Ave.  
Honolulu, HI 96816



# **TABLE OF CONTENTS**

	<b><u>Page No.</u></b>
SECTION 1: ADMINISTRATION .....	3
SECTION 2: SCOPE OF SERVICES .....	7
SECTION 3: BID PROPOSAL AND GENERAL CONDITIONS .....	8
SECTION 4: BID EVALUATION AND AWARD .....	12
APPENDIX A: BID TRANSMITTAL COVER LETTER	
APPENDIX B: BID PROPOSAL	
APPENDIX C: SPECIFICATIONS and DRAWINGS	



## **SECTION 1** **ADMINISTRATION**

### **1.0 INTRODUCTION**

This Invitation for Bid (hereinafter “IFB”) is issued by the Hawaii Health Systems Corporation (hereinafter “HHSC”), a public body corporate and politic and an instrumentality and agency of the State of Hawaii. All procedures and processes will be in accordance with HHSC Oahu Region policy and procedures.

In order for HHSC to accept Bidder’s response in a timely manner, please thoroughly read this IFB and follow instructions as presented.

### **1.1 IFB TIMETABLE AS FOLLOWS**

The timetable as presented represents HHSC’s best estimated schedule. If an activity of the timetable, such as “Closing Date for Receipt of Bids” is delayed, the rest of the timetable dates may be modified. BIDDER will be advised, by addendum to the IFB, of any such modifications to the timetable. Contract start date will be subject to the issuance of a Notice to Proceed.

<b>ACTIVITY</b>		<b>SCHEDULED DATES</b>
1.	IFB Public Announcement	December 3, 2025
2.	Pre-Bid Orientation Maluhia parking lot entrance 10:30 a.m.	December 11, 2025
3.	Closing Date for Receipt of Questions	December 19, 2025
4.	<b>Closing Date for Receipt of Bids 2:00 p.m.</b>	<b>January 7, 2026</b>
5.	Contractor Selection/Award Notification (on/about)	January 9, 2026
6.	Contract Start Date (on/about)	January 16, 2026

### **1.2 AUTHORITY**

This IFB is issued following the provisions of Chapter 323F, Hawaii Revised Statutes (HRS), and its administrative rules. All BIDDERS are charged with presumptive knowledge of all requirements of the cited authorities. Submission of a valid executed bid by any BIDDER shall constitute admission of such knowledge on the part of such BIDDER.

#### **1.2.1 IFB ORGANIZATION**

This IFB is organized into four sections:

**SECTION 1: ADMINISTRATIVE**

Provides information regarding administrative requirements.

**SECTION 2: SCOPE OF SERVICES**

Provides a detailed description of goods and/or services to be provided and delineates HHSC and CONTRACTOR responsibilities.

**SECTION 3: BID FORMS AND GENERAL CONDITIONS**

Describes the required format and content for submission of the bid.

**SECTION 4: BID EVALUATION AND AWARD**

Describes how bids will be evaluation and procedures for selection and award of contract.



### **1.3 HEAD OF PURCHASING AGENCY (HOPA)**

The HOPA for HHSC, or designee, is authorized to execute any and all Agreements (Contracts), resulting from this IFB.

The HOPA for this IFB is:

Derek Akiyoshi  
Regional Chief Executive Officer  
Hawaii Health Systems Corporation

### **1.4 DESIGNATED OFFICIALS**

The officials identified in the following paragraphs have been designated by the HOPA as HHSC's procurement officials responsible for execution of this IFB, award of Agreement and coordination of CONTRACTOR's satisfactory completion of contract requirements.

#### **1.4.1 ISSUING OFFICER**

The Issuing Officer is responsible for administrating/facilitating all requirements of the IFB solicitation process and is the **sole point of contact** for BIDDER from date of public announcement of the IFB until the selection of the successful BIDDER. The Issuing Officer will also be responsible for contractual actions throughout the term of the contract. For purposes of this IFB, the designated Issuing Officer is:

Todd Nordstrom  
Oahu Region CIP Coordinator  
e-mail: [tnordstrom@hhsc.org](mailto:tnordstrom@hhsc.org)  
phone: (808) 767-0526

#### **1.5.1 CHARTER**

HHSC is a public body corporate and politic and an instrumentality and agency of the State of Hawaii. HHSC is administratively attached to the Department of Health, State of Hawaii and was created by the legislature with passage of Act 262, Session Laws of the State of Hawaii 1996. Act 262 affirms the State's commitment to provide quality health care for the people in the State of Hawaii, including those served by small rural facilities.

#### **1.5.2 STRUCTURE AND SERVICES**

HHSC is organized into four operational regions and provides a broad range of healthcare services including acute, long term, rural and ambulatory health care services. As the fourth largest public health system in the country, HHSC is the largest provider of healthcare in the Islands, other than on Oahu. This solicitation is for the Oahu Region.

#### **1.5.3 MISSION**

The mission of HHSC is to provide and enhance accessible, comprehensive health care services that are quality-driven, customer-focused and cost-effective.

### **1.6 FACILITY INFORMATION**

Detailed information pertaining to HHSC facilities is located at <http://www.hhsc.org>.



## 1.7 **SUBMISSION OF QUESTIONS**

Questions must be submitted in writing via electronic mail, facsimile or post mail to the Issuing Officer no later than the “Closing Date for Receipt of Questions”, identified in paragraph 1.1 in order to generate an official answer. All written questions will receive an official written response from HHSC and become addenda to the IFB.

### **IMPORTANT**

**BIDDER may request changes and/or propose alternate language to the HHSC General and Special Terms and Conditions (<https://www.hhsc.org/procurement/>) during this phase only. All requests will be presented to the HHSC Legal Department for review. No requests to change the HHSC General or Special Terms and Conditions will be entertained after the bids have been submitted or during the contracting process. All written questions and/or approved changes will receive an official written response from HHSC and shall be recorded as addenda to the IFB.**

HHSC reserves the right to reject or deny any request(s) made by BIDDER.

Responses by HHSC shall be due to the BIDDER prior to notice of award.

Impromptu, un-written questions are permitted and verbal answers will be provided during pre-bid conferences and other occasions, but are only intended as general direction and will not represent the official HHSC position. The only official position of HHSC is that which is stated in writing and issued in the IFB as addenda thereto.

No other means of communication, whether oral or written, shall be construed as a formal or official response/statement and may not be relied upon.

### **SEND QUESTIONS TO:**

Todd Nordstrom, Issuing Officer  
e-mail: [tnordstrom@hhsc.org](mailto:tnordstrom@hhsc.org)

## 1.8 **SOLICITATION REVIEW**

BIDDER should carefully review this solicitation for defects and questionable or objectionable matter. Comments concerning defects and questionable or objectionable matter, **excluding requests to revise the General or Special Conditions**, must be made in writing and should be received by the Issuing Officer, no later than the “Closing Date for Receipt of Bids” as identified in Section 1.1. This will allow issuance of any necessary amendments to the IFB. It will also assist in preventing the opening of bids upon which award may not be made due to a defective solicitation package.

## 1.9 **IFB AMENDMENTS**

HHSC reserves the right to amend the IFB any time prior to the deadline date of the IFB. IFB Amendments will be in the form of addenda.

## 1.10 **CANCELLATION OF IFB**

The IFB may be canceled when it is determined to be in the best interests of HHSC.

## 1.11 **PROTESTS**

Any protest shall be submitted in writing to the HOPA as noted below.



A protest based upon the content of the solicitation shall be submitted in writing within five (5) working days **after** the aggrieved individual/business knows or should have known of the facts giving rise thereto; provided further that the protest shall not be considered unless it is submitted in writing prior to and not later than the “Closing Date for Receipt of Bid” identified in section 1.1.

A protest of an award or proposed award shall be submitted within five (5) working days after the posting of award of the contract. The notice of award, if any, resulting from this solicitation shall be posted at the following website:  
<http://leahi.hhsc.org/procurement/notices/>

Any and all protests shall be submitted in writing to the HOPA, as follows:

Derek Akiyoshi  
Hawaii Health Systems Corporation  
Oahu Region  
3675 Kilauea Avenue  
Honolulu, Hawaii 96816

**1.12 PERFORMANCE AND PAYMENT BOND**

Performance and payment bonds shall be required for contracts \$25,000 and higher. At the time of the execution of the contract, the successful Bidder shall file good and sufficient performance and payment bonds, each in an amount equal to one hundred percent (100%) of the amount of the contract price unless otherwise stated in the solicitation of bids.

**1.13 SPECIALTY CONTRACTOR’S LICENSE**

- A. Contractor shall be solely responsible to ensure that all specialty licenses required to perform the Work are covered by the Contractor and/or its subcontractor(s).

**1.14 WORKING HOURS**

- A. Regular working hours for this project shall take place between the hours of 8:00 AM to 4:30 PM Monday through Friday, excluding State Holidays, unless otherwise noted or restricted.
- B. The Contractor may be given approval to work beyond the regular hours including Saturdays, Sundays, State Holidays, night work, or after hours under the provisions of the GENERAL CONDITIONS.

**1.15 SPECIAL PROCEDURES DURING BIDDING**

- A. All bids shall be submitted to the Issuing Officer.
- B. All questions regarding the IFB shall be submitted, in writing, to the Issuing Officer, who shall review the questions and issue any responses via Addendum. Only information received by Addendum shall be binding.
- C. Any visitation to the site to examine the scope of work shall be requested through the HHSC Representative. Disruption of facility operations shall not be permitted.



## **SECTION 2**

### **SCOPE OF SERVICES**

#### **2.0 INTRODUCTION**

##### **MALUHIA ADA RENOVATIONS**

Work for this project shall include, but is not limited to, the renovation of various areas at Maluhia to meet 2010 ADA Standards for Accessible Design, and other miscellaneous work as indicated on the drawings.

#### **2.1 CONTRACT PERIOD**

The work shall be completed within **150** consecutive calendar days from the Notice to Proceed (NTP).

#### **2.2 SCOPE OF SERVICES**

- A. The CONTRACTOR shall complete the work specified in the specifications and drawings in APPENDIX C.
- B. Qualifications. The CONTRACTOR shall have:
  - 1. A current and valid license to perform the scope of work.
  - 2. Have been in business for the past three (3) consecutive years.
  - 3. A permanent, on-island office location in conducting business which is accessible to telephone calls. An answering service is not acceptable.
- C. HOSPITAL shall provide:

Technical Representatives who shall have the authority to oversee the successful completion of contract requirements, including monitoring, coordinating and assessing CONTRACTOR performance; placing requests for services; and, approving completed work/services with verification of same for CONTRACTOR's invoices. Technical Representatives will also serve as points of contact for "technical" matters throughout the term of the contract.



## **SECTION 3**

### **Bid Forms and General Conditions**

#### **General Instructions for Completing Forms**

- *Bids shall be submitted in the prescribed format outlined in this IFB*
- *No supplemental literature, brochures or other unsolicited information should be included in the bid packet.*
- *A written response is required for each item unless indicated otherwise.*

#### **3.0 Bid Form**

The bid form must be completed and submitted to HHSC by the required due date and time, and in the form prescribed by the HHSC. Facsimile transmissions shall not be accepted.

Interested bidders shall submit their bid under the interested bidder's exact legal name that is registered with the Department of Commerce and Consumer Affairs and shall indicate this exact legal name in the appropriate space on page 1 of the bid form. Failure to do so may delay proper execution of the Contract.

Interested bidders shall certify its ability to provide services on January 16, 2026 or upon execution of the Contract agreement by both parties. The Hospital reserves the right to apply liquidated damages for the delay in Contract execution on the part of the Contractor.

The interested bidder's authorized signature shall certify bid documents. If the Bid Form on Appendix A is unsigned the bid shall be automatically rejected.

The option to extend the Contract shall be at the sole discretion of the Hospital and determined to be in the best interests of the State.

#### **3.1 Bid Security**

All lump sum bids of \$25,000 and higher, or lump sum base bids including alternates of \$25,000 and higher, that are not accompanied by bid security are non-responsive.

- a. The bid security shall be in an amount equal to at least five percent (5%) of the lump sum bid or lump sum base bid including alternates or in an amount required by the terms of the federal funding, where applicable.

#### **3.2 General Conditions**

The State of Hawaii INTERIM GENERAL CONDITIONS, dated August 1999, and AMENDMENTS shall be read by the Contractor as they form a part of the Agreement to be entered into between the Contractor and HHSC. The Interim General Conditions are not physically included in these specifications, but are included by reference. Copies of the INTERIM GENERAL CONDITIONS may be obtained from the Division of Public works, Department of Accounting and General Services, State of Hawaii at the following website:

[http://hawaii.gov/pwd/construction\\_bids/Members/qc/gen\\_cond\\_constr](http://hawaii.gov/pwd/construction_bids/Members/qc/gen_cond_constr)



The State of Hawaii General Conditions are hereby amended as follows:

- a. The following terms specified in Section 1 are hereby defined:
  - i) Bidder shall have the same definition as Contractor.
  - ii) Comptroller shall be the Chief Financial Officer at HHSC or his authorized representative.
  - iii) Department shall be HHSC or its designee.
  - iv) Engineer shall be the person so designated by HHSC.
  - v) State shall be HHSC or its designee.
- b. Section 1.20 and 1.25 replace "State of Hawaii" with "State".
- c. The last two sentences of the third paragraph of Section 2.1.1.2, in the Interim General Conditions is deleted and is replaced with the following:

" If the notice is faxed, the time of receipt by the CEO's fax machine shall be official. The submittal of intention to bid via fax is acceptable only to this office."
- d. Section 2.1.2.1: second sentence is hereby deleted in its entirety.
- e. Last sentence of paragraph 2.1.2.3 of the Interim General Conditions is amended to read as follows:

"Failure to submit either the required tax clearance certificate or Bid Form will be sufficient grounds for HHSC to refuse to receive or consider the prospective bidder's proposal."
- f. The addresses specified in Section 2.6.1 of the Interim General Conditions shall be changed to Leahi Hospital 3675 Kilauea Avenue Honolulu Hawaii 96816.
- g. Sections 2.10 through 2.11 are hereby deleted in their entirety.
- h. Paragraph 3.8.1 of the Interim General Conditions is amended to read as follows:

"The contract shall be signed and forwarded to HHSC (Contracts Office), by the successful bidder all within three (3) days of receipt of the contract. The performance and payment bonds shall be received by HHSC (Contracts Office) within ten (10) calendar days after the bidders is awarded the contract. No proposal or contract shall be considered binding until the contract has been fully and properly executed by all parties thereto."
- i. In paragraph 3.9.2 of the Interim General Conditions, "ten (10) calendar days after such award or within such further time as the Comptroller may allow" shall be replaced with, "the time allowed in the previous section."
- j. Section 4.1: the words "accepted bid" is deleted from the first sentence.
- k. Section 4.9.3: the words "submission of bids" is replaced with the words "execution of this contract".
- l. Section 5.5: the last sentence is hereby deleted in its entirety and replaced with the following:



“In the event of conflict among the Contract Documents, the order of precedence is listed in paragraph 5 of this contract and is further detailed in the following subparagraphs:”

- m. Sections 5.5.1 and 5.5.2 are hereby deleted in their entirety.
- n. Section 5.8.1: “twenty-four (24)” is hereby changed to “three (3)”.
- o. Section 5.11 is hereby deleted in its entirety.
- p. Section 5.12.4 is hereby deleted in its entirety.
- q. Section 7.3.7.4, subparagraphs a and b: Replace “If the project falls within the State University System, The University of Hawaii” with “HHSC.”
- r. Section 7.4.1 is hereby deleted in its entirety and replaced with the following:

“The Contractor shall prepare, process, obtain, and pay for all permits necessary for the proper execution of the work.”
- s. Section 7.7.2 is amended to read as follows: “The wage rate schedule is attached to this contract.”
- t. Sections 7.14.2, 7.19.2, and 7.19.4: delete “Departments and Agencies and their” and insert “directors” between “officers” and “representatives”.
- u. Section 7.14.4 is hereby added and reads as follows:

“Contractor warrants that it and none of its employees, agents or subcontractors performing services or providing goods pursuant to this Agreement are excluded from participation in federal health care programs, as defined in the Social Security Act (section 1128 and 1128A), and other federal laws and regulations relating to health care. HHSC reserves the right to verify that the above warranty is true and to immediately cancel this Agreement in the event it is violated.”
- v. Section 7.15 delete “and its Departments and Agencies”.
- w. Section 7.21.8.6 — Delete the word “bad” before the words “weather day conditions.”
- x. Section 7.35.1: the last word “earlier” is changed to “later”.

3. CORPORATE COMPLIANCE PROGRAM. A description of the Corporate Compliance Program of HHSC is posted on the HHSC Internet ([www.hhsc.org](http://www.hhsc.org)). The CONTRACTOR, by signing this contract, acknowledges that it has read said description, and that the CONTRACTOR knows of the fact and substance of the Corporate Compliance Program, which governs operations at all facilities of the HHSC. The CONTRACTOR understands and agrees that employees, agents, and contractors performing any services at any of the HHSC facilities shall be fully subject to such Corporate Compliance Program, as may be amended from time to time, as well as all federal program requirements and applicable policies and procedures of HHSC and its facilities. The Corporate Compliance Program requires periodic training, including an orientation program, of all people who provide financial, business office, personnel, coding, medical records information systems and clinical services in the facility. The CONTRACTOR agrees to cause its employees, agents, and contractors who provide any services at any financial, business office, personnel, coding, medical records information systems and clinical services at any of the HHSC facilities to participate in the orientation and training programs.



4. CONFIDENTIAL INFORMATION. It is acknowledged and agreed that all of the trade secrets, business plans, marketing plans, know how, data, contracts, documents, scientific and medical concepts, billing records, personnel records, medical records of any kind, and referral resources for existing or future services, products, operations, management, business, pricing, financial status, valuations, business plans, goals, strategies, objectives and agreements of HHSC and any of its facilities, affiliates or subsidiaries, and all patient information, in any form, whether written, verbal, or electronic, are confidential (“Confidential Information”); provided, however, that Confidential Information, with the exception of patient information, shall not include information that is in the public domain.
5. CONTRACTOR EXCLUSION FROM FEDERAL PROGRAMS. CONTRACTOR warrants that it and none of its employees, agents or subcontractors performing services or providing goods pursuant to this Agreement are excluded from participation in federal health care programs, as defined in the Social Security Act (section 1128 and 1128A), and other federal laws and regulations relating to health care. HHSC reserves the right to verify that the above warranty is true and to immediately cancel this Agreement in the event it is violated.
6. CAMPAIGN CONTRIBUTIONS BY STATE AND COUNTY CONTRACTORS. CONTRACTORS are hereby notified of the applicability of Section 11-205.5, HRS, which states that campaign contributions are prohibited from specified State or county government contractors during the term of the contract if the contractors are paid with funds appropriated by a legislative body. For more information, please consult with the Campaign Spending Commission, or visit its website, [www.hawaii.gov/campaign](http://www.hawaii.gov/campaign).

(END OF SECTION)



**SECTION 4**  
**BID EVALUATION AND AWARD**

**4.0 Bid Evaluation**

Each bid offer will be reviewed for exact conformity of the requirements in the IFB, known as a responsible bid. Information provided in/with the bid offer will be used to determine whether the interested bidder has the technical and financial capacity to deliver the goods or services, known as a responsive bid.

**4.1 Method of Award**

- A. The contract will be awarded to the lowest responsive and responsible Bidder whose bid (including any alternates which may be selected) meets the requirements and criteria set forth in the solicitation documents.
- B. In the event the total lump sum bid of all bidders exceeds the project control budget, HHSC reserves the right to make an award to the apparent Low Bidder if additional funds are available or by reducing the scope of work through negotiation.

**4.2 Contract Execution**

Upon receipt of the Contract document, the CONTRACTOR shall have ten (10) business days to execute and return the Contract to the Issuing Officer. Explicit execution instructions will accompany the Contract. A copy of the fully executed Contract will be provided the CONTRACTOR within seven (7) business days of Contract execution.

Award of Contract may be withdrawn if the CONTRACTOR is unable to meet Contract execution requirements.

(END OF SECTION)



## **SAMPLE BID TRANSMITTAL COVER LETTER**

Dear Mr. Nordstrom,

(Name of Business) proposes to provide any and all goods and services as set forth in the “Invitation for Bid” for Maluhia ADA Renovations IFB No. 25L-1126, for which fees/costs have been set. The fees/costs offered herein shall apply from XXX, 2026 to XXX, 2026.

It is understood and agreed that (Name of Business) have read HHSC’s Scope of Services described in the IFB and that this bid is made in accordance with the provisions of such Scope of Services. By signing this bid, (Name of Business) guarantee and certify that all items included in this bid meet or exceed any and all such Scope of Services. (Name of Business) agree, if awarded the contract, to provide the goods and services set forth in the IFB; and comply with all terms and conditions indicated in the IFB; and at the fees/costs set forth in this bid. The following individual(s) may be contacted regarding this bid: \_\_\_\_\_

**Other information:**

Address:		Federal Tax ID #:	
Phone No.:		Hawaii GET ID #:	
E-mail address:			

(Name of Business) is a: ☐ Sole Proprietor ☐ Partnership ☐ Corporation ☐ Joint Venture Other (Specify) \_\_\_\_\_

State of Incorporation is: (Specify) \_\_\_\_\_

Year of Business started: \_\_\_\_\_

The exact legal name of the business under which the contract, if awarded, shall be executed is: \_\_\_\_\_

(Authorized Bidder’s Signature, Printed Name/Title; Corporate Seal or Notarized)



**IFB No. 25L-1126  
Maluhia ADA Renovations**

**BID FORM**

After carefully examining the bid documents, drawings and specifications identified above, the Bidder proposes to furnish at its own expense all necessary labor, materials, tools and equipment to complete the work according to the true intent and meaning of the drawings and specifications, all for the Sum of:

**Base Bid:** Hala Drive First Floor Entry, First Floor Therapy Room Toilet, Second Floor Makai Patient Rooms, Second Floor Dayroom Toilet and Third Floor Dayroom Toilet.

\_\_\_\_\_ DOLLARS (\$\_\_\_\_\_)

**Additive Alternate 1:** Second Floor Mauka Patient Rooms.

\_\_\_\_\_ DOLLARS (\$\_\_\_\_\_)

**Additive Alternate 2:** Third Floor Makai Patient Rooms.

\_\_\_\_\_ DOLLARS (\$\_\_\_\_\_)

**Additive Alternate 3:** Third Floor Mauka Patient Rooms.

\_\_\_\_\_ DOLLARS (\$\_\_\_\_\_)

(Schedule of Values must be submitted with the Bid).

**Allowance:** Include \$35,000 in bid to test and remove asbestos in drywall and joint compound.

Respectfully Submitted:

\_\_\_\_\_  
Signature / Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Title

**OTHER CONDITIONS**

1. Bidder agrees to liquidated damages as specified.
2. By submitting this proposal, the Bidder is declaring that its firm has not been assisted or represented on this matter by an individual who has, in a County capacity, been involved in the subject matter of this contract in the past two years;



3. Anti-collusion certification. In accordance with HAR 3-122-192, by submitting this proposal, the Bidder is declaring that the price submitted is independently arrived at without collusion.
4. Certification for Safety and Health Program for bids in excess of \$100,000. In accordance with HRS 396-18, the Bidder certifies that its organization will have a written safety and health plan for this project that will be available and implemented by the Notice to Proceed date of this project. Details of the requirements of this plan may be obtained from the Department of Labor and Industrial Relations, Occupational Safety and Health Division (HIOSH); and
5. Upon the acceptance of the proposal by the HHSC, the Bidder must enter into and execute a contract for the same and furnish a Performance and Payment bond, as required by law.

#### RECEIPT OF ADDENDA

Receipt of the following addenda issued by HHSC is acknowledged by the date (s) of receipt indicated below:

Addendum No. 1 _____	Addendum No. 3 _____
Date	
Addendum No. 2 _____	Addendum No. 4 _____

It is understood that failure to receive any such addendum shall not relieve the Bidder from any obligation under this Proposal as submitted.

#### ALL JOINT CONTRACTORS OR SUBCONTRACTORS TO BE ENGAGED ON THIS PROJECT

The Bidder certifies that the following is a complete listing of all joint contractors or subcontractors covered under Chapter 444, Hawaii Revised Statutes, who will be engaged by the Bidder on this project to perform the nature and scope of work indicated and understands that failure to comply with this requirement may be just cause for rejection of the bid.

The Bidder further understands that only those joint contractors or subcontractors listed shall be allowed to perform work on this project and that all other work necessary shall be performed by the Bidder with his own employees. If no joint contractor or subcontractor is listed, it shall be construed that all of the work shall be performed by the Bidder with its own employees.

The Bidder must be sure that it has and that the subcontractor(s) listed in the proposal have all the necessary specialty licenses needed to perform the work for this project. The Bidder shall be solely responsible for assuring that all the specialty licenses required to perform the work are covered in its bid.

The Bidder shall include the license number of the joint contractors or subcontractors listed below. Failure to provide the correct names and license numbers as registered with the Contractor's Licensing Board may cause rejection of the bid submitted.

Complete Firm Name Joint Contractor or Subcontractor for <u>Lump Sum Base Bid</u>	<u>License Number</u>	<u>Nature and Scope of Work to be Performed</u>



---

---

---

Enclosed herewith:

- |    |                      |   |
|----|----------------------|---|
| 1. | Surety Bond (*1)     | ) |
| 2. | Legal Tender (*2)    | ) |
| 3. | Cashier's Check (*3) | ) |
| 4. | Certified Check (*3) | ) |

(Cross Out Those Not Applicable)

in the amount of:

\_\_\_\_\_ DOLLARS (\$\_\_\_\_\_).

as required by law.

Respectfully submitted,

\_\_\_\_\_  
Name of Company, Joint Venture or Partnership

\_\_\_\_\_  
License

By \_\_\_\_\_  
Signature (\*4)

Title \_\_\_\_\_

Date: \_\_\_\_\_

(CORPORATE SEAL)  
(\*5)

NOTES:

1. Surety bond underwritten by a company licensed to issue bonds in this State;
2. Legal tender; or



3. A cashier's or a certified check accepted by, and payable on demand to the HHSC by a bank, a savings institution, or credit union insured by the Federal Deposit Insurance Corporation.
  - a. These instruments may be utilized only to a maximum of \$100,000.
  - b. If the required security or bond amount totals over \$100,000, more than one instrument not exceeding \$100,000 each and issued by different financial institutions shall be accepted.
4. Please attach to this page evidence of the authority of this officer to submit bids on behalf of the Company, and also the names and residence addresses of all officers of the Company.
5. Fill in all blank spaces with information asked for or bid may be invalidated. PROPOSAL MUST BE INTACT. MISSING PAGES MAY INVALIDATE YOUR BID.

END OF BID FORM



## **APPENDIX C**



S P E C I F I C A T I O N S

FOR

REQUIRED FOR

ADA RENOVATIONS

MALUHIA

1<sup>ST</sup>, 2<sup>ND</sup> & 3<sup>RD</sup> FLOORS

1027 HALA DRIVE

HONOLULU, HAWAII 96817

TMK: 01-06-009: 004

FOR THE

HAWAII HEALTH SYSTEMS CORPORATION (HHSC)

STATE OF HAWAII

ARCHITECT: ARTHUR Y. MORI & ASSOCIATES, INC.  
MECHANICAL ENGINEER: MECHANICAL ENTERPRISES, INC.  
ELECTRICAL ENGINEER: BENNETT ENGINEER, INC

SEPTEMBER 18, 2025



## TABLE OF CONTENTS

TABLE OF CONTENTS .....	1 – 2
<u>DIVISION 0 – BIDDING AND CONTRACT REQUIREMENTS</u>	
SECTION 00210 INSTRUCTIONS TO BIDDERS.....	1 – 9
SECTION 00800 SPECIAL PROVISIONS .....	1 – 4
<u>DIVISION 1 - GENERAL REQUIREMENTS</u>	
SECTION 01019 GENERAL PROJECT REQUIREMENTS .....	1 – 11
SECTION 01100 SUMMARY .....	1 – 5
SECTION 01140 WORK RESTRICTIONS.....	1 ONLY
SECTION 01300 SUBMITTALS.....	1 – 4
SECTION 01310 PROJECT COORDINATION.....	1 – 3
SECTION 01577 POLLUTION CONTROL .....	1 – 3
SECTION 01715 EXISTING CONDITIONS .....	1 – 2
SECTION 01910 Limited Hazardous Material Survey Report for Asbestos dated March 21, 2023.....	1 – 3
<u>DIVISION 2 - SITE WORK</u>	
SECTION 02055 SELECTIVE DEMOLITION AND REMOVAL .....	1 - 3
SECTION 02056 PATCHING.....	1 ONLY
<u>DIVISION 3 – CONCRETE</u> (NOT USED)	
<u>DIVISION 4 – MASONRY</u> (NOT USED)	
<u>DIVISION 5 – METAL</u> (NOT USED)	
<u>DIVISION 6 - WOOD AND PLASTICS</u>	
SECTION 06100 ROUGH CARPENTRY .....	1 - 5
SECTION 06200 FINISH CARPENTRY.....	1 - 2
SECTION 06300 PRESERVATIVE TREATED LUMBER .....	1 - 2
SECTION 06650 SOLID SURFACING .....	1 - 4
<u>DIVISION 7 - THERMAL AND MOISTURE PROTECTION</u>	
SECTION 07130 WATERPROOF MEMBRANE .....	1 ONLY
SECTION 07900 SEALANT AND CAULKING .....	1 - 6
<u>DIVISION 8 – DOORS AND WINDOWS</u>	
SECTION 08700 FINISH HARDWARE.....	1 - 3
SECTION 08110 METAL FRAMES .....	1 - 2
SECTION 08700 FINISH HARDWARE.....	1 - 3
<u>DIVISION 9 – FINISHES</u>	
SECTION 09250 GYPSUM WALLBOARD .....	1 - 3
SECTION 09510 ACOUSTICAL TILE .....	1 - 5
SECTION 09625 SHEET VINYL FLOORING .....	1 - 3
SECTION 09901 PAINTING .....	1 - 9



<u>DIVISION 10 – SPECIALTIES</u>	
SECTION 10800 TOILET ROOM ACCESSORIES.....	1 ONLY
<u>DIVISION 11 – EQUIPMENT</u> .....	(NOT USED)
<u>DIVISION 12 – FURNISHINGS</u> .....	(NOT USED)
<u>DIVISION 13 – SPECIAL CONSTRUCTION</u> .....	(NOT USED)
<u>DIVISION 14 – CONVEYING SYSTEMS</u> .....	(NOT USED)
<u>DIVISION 15 – MECHANICAL</u> .....	(NOT USED)
<u>DIVISION 16 – ELECTRICAL</u> .....	(NOT USED)

END OF TABLE OF CONTENTS



## SECTION 00210 - INSTRUCTIONS TO BIDDERS

### PART 1 - GENERAL

#### 1.01 GENERAL

- A. Only Bidders with the required contractor's license(s) are eligible to submit a Bid.
- B. Bidders (Contractors) shall be incorporated or organized under the laws of the State or be registered to do business in the State as a separate branch or division that is capable of fully performing under the contract. The following definitions are used in the solicitation documents.
  - 1. Hawaii Business §3-1222-112 HAR: A bidder who is registered and incorporated or organized under the laws of the State is a "Hawaii Business" and eligible for an award.
  - 2. Compliant non-Hawaii Business §3-122-112 HAR: A bidder not incorporated or organized under the laws of the State, but is registered to do business in the State and complies with or is exempt from the requirements of §3-122-112 HAR, is a "Compliant Non-Hawaii Business" and eligible for an award.
  - 3. Non-compliant Bidder: If a bidder is a non-Hawaii business and is not registered with the DCCA Business Registration Division (BREG) or cannot comply with §3-122-112 HAR, then the bidder is non-compliant and is ineligible for an award.
- C. Prospective Bidders shall submit their "Intention to Bid".
- D. Bidders shall submit the "Sealed Bid Form", bid bond (if required), tax clearances, Hawaii business certificates, and any other documents required by the bidding documents.
- E. The GENERAL CONDITIONS set forth additional terms and conditions for the bid and award process. The GENERAL CONDITIONS will be part of the contract documents by which

Hawaii Health Systems Corporation (HHSC) and the bidder (prospective contractor) will be bound. Bidders are directed to the



GENERAL CONDITIONS for contract and statutory requirements and for Bidding and Execution of the Contract Requirements. Bidders are also directed to "Section 00800 – Special Conditions" of these specifications for definitions and modifications to the GENERAL CONDITIONS.

1.02 OFFEROR(S) or BIDDER(S)

- A. The terms "Offeror" and "Bidder" are synonymous when used in this Section 00210 and other solicitation documents.

1.03 ADDENDA, CLARIFICATIONS

- A. Addenda: HHSC may periodically issue an addendum that may increase or decrease the scope of work or contract time, provisions or conditions. HHSC will make the addenda available online on the facility website. Bidders are responsible for the information contained in the addenda or bid clarification whether or not the Bidder receives the addenda or clarification.
- B. Bidders discovering an ambiguity, inconsistency or error when examining the bidding documents or the site and local conditions or bidders with questions or clarification requests shall send their written requests (email or fax notification are acceptable) to the Project Architect. Bidders shall comply with the following procedures:
  - 1. Identify each request with the Project Name.
  - 2. Indicate the appropriate section number, paragraph, drawing and detail number, schedule or other identifier.
  - 3. The request should be brief, concise, but complete enough to properly evaluate and determine the merits or non-merits of the question or request.
- C. Bidders shall make any requests for clarifications no later than fourteen (14) calendar days prior to the submission date for sealed bids. Refer to the "Notice to Bidders" for submission date.
- D. HHSC will respond to important requests or clarifications by way of addenda. HHSC may not address or respond to all bidders inquiries, if the HHSC determines the request is unimportant or not required to disseminate to all Bidders.



1.04 SEALED BID FORM (BID FORM)

- A. Bidder shall fill out the “Sealed Bid Form” completely. Write in ink or type. Besides the following paragraphs with instructions, there are supplemental Bidder’s Instructions within the text of the “Sealed Bid Form” and bidders shall comply with the instructions. Do not alter the “Sealed Bid Form”, and maintain the form intact.
- A. RECYCLED PRODUCT PREFERENCE is not applicable to this project.
- B. OTHER CONDITIONS: Bidder acknowledges and agrees to the provisions and certifications stated in this article.
- C. RECEIPT OF ADDENDA: Bidder shall fill in the appropriate dates any addenda were received.
- D. LISTING JOINT CONTRACTORS OR SUBCONTRACTORS:
  - 1. Bidder shall complete the “Joint Contractors or Subcontractors List.” It is the sole responsibility of the bidder to review the requirements of this project and determine the appropriate specialty contractor’s licenses that are required to complete the project. Failure of the bidder to provide the correct names, license numbers, specialty class number, classification description and to indicate that the specialty contractor is required for this project, may cause the bid to be rejected.
  - 2. Bidder agrees the completed listing of joint contractors or subcontractors is required for the project and that the bidder, together with the listed joint contractors and subcontractors, have all the specialty contractor’s licenses to complete the work.
  - 3. Based on the Hawaii Supreme Court’s January 28, 2002 decision in Okada Trucking Co., Ltd. v. Board of Water Supply, et al., 97 Hawaii 450 (2002), the bidder as a general contractor (‘A’ or ‘B’ license) is prohibited from undertaking any work solely or as part of a larger project, which would require the bidder (‘A’ or ‘B’ general contractor) to act as a specialty (‘C’ license) contractor in any area in which the bidder (‘A’ or ‘B’ general contractor) has no specialty



contractor's license. Although the 'A' and 'B' contractor may still bid on and act as the "Prime Contractor" on an 'A' or 'B' project (See, *HRS §444-7 for the definitions of an "A" and "B" project*), respectively, the 'A' and 'B' contractor may only perform work in the areas in which they have the appropriate contractor's license. The bidder ('A' or 'B' general contractor) must have the appropriate 'C' specialty contractor's licenses either obtained on its own, or obtained automatically under HAR §16-77-32.

4. General Engineering 'A' Contractors automatically have these 'C' specialty contractor's licenses: C-3, C-9, C-10, C-17, C-24, C-31a, C-32, C-35, C-37a, C-37b, C-38, C-43, C-56, C-57a, C-57b, and C-61.
5. General Building 'B' Contractors automatically have these 'C' specialty contractor's licenses: C-5, C-6, C-10, C-12, C-24, C-25, C-31a, C-42a, and C-42b.
6. The table that lists the specialty contractor' classifications in the bid form is from the Department of Commerce and Consumer Affairs' (DCCA) website [www.state.hi.us/dcca/har/index.html](http://www.state.hi.us/dcca/har/index.html). Bidders shall provide the appropriate classifications numbers and descriptions for any specialty contractors that are not included in the bid form and bidders are directed to the DCCA web site for the latest updated list.
7. Instructions to complete the Joint Contractors or Subcontractors List:
  - a. Determine the specialty contractor classification(s) required for this project and provide the complete firm name and license number of the joint contractor or subcontractor in the respective columns. If the bidder is a general contractor and providing the work of the required specialty contractor classification, fill in the bidder's (general contractor's) license number and name.
  - b. List only one joint contractor or subcontractor per required specialty contractor's classification.



- c. For projects with alternate(s), fill out the respective “Joint Contractors or Subcontractors List for the Alternate(s).” Bidder shall determine the specialty contractor’s classification and description required for the respective alternate. Bidders shall fill in the complete class number, class description, firm name and license number of the respective joint contractor or subcontractor. The bidder shall not include any joint contractor or subcontractor previously listed for the base bid.
- E. **COST AND TIME:** Bidder shall completely fill out the article and enter the cost for the Project Bid Price, and Alternates when provided. Bidder shall tabulate the Project Bid Price, and Alternates when provided, and the Bidders shall then enter the Total Lump Sum Bid Price. **BE SURE TO ENTER THE TOTAL LUMP SUM BID PRICE IN WORDS AND NUMERALS.** Refer to Bidder’s Instructions located within the article.
  - 1. If provided, bidder shall fill in total costs for each alternate. The bidder is directed to the construction time information paragraph “B” for the list of contract times and dates which may include: contract duration, project start date, jobsite start date, jobsite completion, contract completion date and construction time for alternates. Bidder shall refer to “Section 01100” of these specifications for additional construction time information, as applicable.
- F. **SIGNATORY PAGE:** Bidder shall completely fill out article (page). Bidder shall indicate if it is a “Hawaii Business” or a “Compliant Non-Hawaii Business.” Also, bidder shall refer to Bidder’s Instructions located within the article.

#### 1.01 EVALUATION CRITERIA

- A. EVALUATING BIDS: The lowest responsive, responsible bid is determined by the following procedures:
  - 1. The total lump sum bid price is adjusted to reflect the applicable preferences.
    - a. For projects with alternates, the total lump sum base bid price and alternates will be adjusted to reflect the applicable preferences.



2. Project control budget is established prior to the submission of bids.

#### 1.02 METHOD OF AWARD

- A. The contract will be awarded to the lowest responsive and responsible Bidder whose bid (including any alternates which may be selected) meets the requirements and criteria set forth in the solicitation documents.
- B. In the event the total lump sum bid of all bidders exceeds the project control budget, HHSC reserves the right to make an award to the apparent Low Bidder if additional funds are available or by reducing the scope of work through negotiation.

#### 1.03 OTHER CONDITIONS FOR AWARD

- A. The Chief Procurement Officer may reject any or all bids and waive any defects if the Chief Procurement Officer believes the rejection or waiver is in the best interest of HHSC.
- B. The Chief Procurement Officer may hold all bids up to 60 calendar days from the date bids were opened. Unless otherwise required by law, bids may not be withdrawn without penalty.
- C. The award of the contract is conditioned upon funds made available for the project (or projects if applicable)

#### 1.04 COMPLIANCE WITH §3-122-112 HAR:

- A. As a condition for award of the contract and as proof of compliance with the requirements of 103D-310(c) HRS, the bidder shall meet the "Hawaii Business" or "Compliant non-Hawaii Business" requirements and shall provide the following documents:
  1. Department of Taxation (DOTAX) and the IRS tax clearance certificates.
  2. Department of Labor (DLIR) certificate of compliance.
  3. Department of Commerce and Consumer Affairs (DCCA), Business Registration Division (BREG) certificate of good standing.



- a. A Hawaii business that is a sole proprietorship is not required to register with the BREG and therefore not required to submit the DCCA, BREG "Certificate of Good Standing."
- B. The apparent three low bidders shall furnish the required documents to HHSC within seven calendar days from the bid opening date. If a valid certificate is not submitted on a timely basis for award of a contract, a bidder otherwise responsive and responsible may not receive the award. Bidder is responsible to apply for and submit the documents by the required deadlines.

## PART 2 - PRODUCTS (Not Used)

## PART 3 - EXECUTION

### 3.01 REQUIRED DOCUMENTATION FOR HAWAII BUSINESS OR COMPLIANT NON-HAWAII BUSINESS (§3-122-112 HAR)

- A. TAX CLEARANCE REQUIREMENTS (HRS Chapter 237): Bidder shall obtain a tax clearance certificate from the Hawaii State Department of Taxation (DOTAX) and the Internal Revenue Service (IRS). The certificate is valid for six months from the most recently approved stamp date on the certificate; the certificate must be valid on the date received by HHSC.
  - 1. DOTAX *TAX CLEARANCE APPLICATION* Form A-6 (Rev 2003) is available at DOTAX and IRS (State of Hawaii) offices or DOTAX website, and by mail or fax.
    - a. DOTAX website: <http://www.state.hi.us/tax/alphalist.html#a>
    - b. DOTAX forms by fax/mail: (808) 587-7572 or 1-800-222-7572
  - 2. Mail, fax or submit in person completed tax clearance application forms to the Department of Taxation, Taxpayer Services Branch or to the address listed on the application. Facsimile numbers are:
    - a. DOTAX: (808) 587-1488
    - b. IRS: (808) 539-1573



3. DOTAX will return the form to the bidder. The bidder is reminded that it is responsible to submit the applications for the tax clearance directly to DOTAX or IRS and not to HHSC.
- B. DLIR CERTIFICATE of COMPLIANCE (HRS Chapter 383 - Unemployment Insurance, Chapter 386 - Workers' Compensation, Chapter 392 - Temporary Disability Insurance, and 393 – Prepaid Health Care): Bidder shall obtain a certificate of compliance from the Hawaii State Department of Labor and Industrial Relations (DLIR). The certificate is valid for six months from the date of issue; certificates must be valid on the date received by HHSC.
1. *DLIR APPLICATION FOR CERTIFICATE OF COMPLIANCE WITH SECTION 3-122-112 HAR*, Form LIR#27 is available at DLIR website or at the neighbor island DLIR District Office.
    - a. DLIR website: <http://www.dlir.state.hi.us/LIR#27>
  2. Mail, fax or submit in person completed application form to the Department of Labor and Industrial Relations, Administrative Services Office at the address listed on the application.
  3. DLIR will return the form to the bidder. The bidder is reminded that it is responsible to submit the application for the certificate directly to DLIR and not to HHSC.
- C. DCCA CERTIFICATE OF GOOD STANDING: Bidder shall obtain a certificate of good standing issued by the Department of Commerce and Consumer Affairs (DCCA), Business Registration Division (BREG). The certificate of good standing is valid for six months from the date of issue; certificates must be valid on the date received by HHSC.
1. *DCCA CERTIFICATE OF GOOD STANDING* is available from the business registrations website or by telephone. Bidders are advised there are costs associated with registering and obtaining the certificate.
    - a. DCCA form website: <http://www.BusinessRegistrations.com>
    - b. DCCA telephone: (808) 586-2727, M - F 7:45 to 4:30 HST



2. Submit the application per DCCA's requirements.
3. DCCA will return the form to the bidder. The bidder is reminded that it is responsible to submit the application for the certificate directly to DCCA and not to HHSC.

END OF SECTION



## SECTION 00800 - SPECIAL PROVISIONS

### PART 1 - GENERAL

#### 1.01 SUBSTITUTION REQUESTS

- A. Written substitution requests must be submitted with your Invitation for Bid (IFB) in accordance with IFG Section 3. All substitutions will be reviewed and approved in accordance with Section 6.3 Substitution of Materials and Equipment.
- B. Substitution requests by FAX are not acceptable.

#### 1.02 PROJECT CONTACT PERSON

- A. HHSC Representative

NAME: Mr. Todd Nordstrom

POSITION OR TITLE: CIP Coordinator

TELEPHONE NUMBER: (808) 767-0526

Email: [tnordstrom@hhsc.org](mailto:tnordstrom@hhsc.org)

- B. Consultant

NAME: Mr. Jeffrey Mori

POSITION OR TITLE: Architect

TELEPHONE NUMBER: (808) 554-6166

Email: [ama@aymori.com](mailto:ama@aymori.com)

#### 1.03 OFFEROR'S RESPONSIBILITY FOR EXAMINING PLANS, SPECIFICATIONS AND SITE OF WORK

- A. Offerors herewith refers to sub-contractors, suppliers, manufacturer's representatives as well as contractors.

#### 1.04 LIQUIDATED DAMAGES

- A. The time of completion for the Work shall be within 150 consecutive calendar days from the official commencement date of the Notice to Proceed (NTP).
- B. In accordance with the General Conditions, upon failure to complete Work or any portion of the Work within the time or times fixed in the contract or extension thereof, the Contractor shall pay liquidated damages to the Department in the amount of \$500.00 per calendar day of delay.



- C. In accordance with the General Conditions, PROJECT ACCEPTANCE DATE, for failure to correct punch list deficiencies, within the time or times fixed in the contract or extension thereof, the Contractor shall pay liquidated damages to HHSC, in the amount equal to ten percent (10%) of the liquidated damages per calendar day of delay.
- D. In accordance with the General Conditions FINAL SETTLEMENT OF THE CONTRACT, for failure to submit closing documents within the time or times fixed in the contract or extension thereof, it is agreed that the Bidder shall pay liquidated damages to HHSC in the amount equal to five percent (5%) of the liquidated damages per calendar day of delay.

1.05 SPECIALTY CONTRACTOR'S LICENSE

- A. Contractor shall be solely responsible to assure that all the specialty licenses required to perform the Work are covered by the Contractor or its subcontractor(s).

1.06 WORKING HOURS

- A. The regular working hours for this project is from 8:00 AM to 4:30 PM Monday through Friday, excluding State Holidays, unless otherwise noted or restricted under "Section 01100". The Working Hours provisions of specification "Section 01100" shall govern over this article 1.06.
- B. The Contractor may be given approval to work beyond the regular hours including Saturdays, Sundays, State Holidays, night work, or after hours under the provisions of the GENERAL CONDITIONS, "Overtime And Night Work Section" and under specification "Section 01100".

1.07 SPECIAL PROCEDURES DURING BIDDING

- A. Bid documents will be available online and from the HHSC Representative's office, at Leahi Hospital, 3675 Kilauea Ave, Honolulu, HI 96816.
- B. All bids shall be submitted to the HHSC Representative.
- C. All questions regarding the plans and specifications shall be submitted, in writing, to the HHSC Representative and Consultant. The HHSC Representative and Consultant will review the questions and issue any responses via Addendum. Only information received by Addendum shall be binding.
- D. All questions regarding the proposal or contractual requirements shall be submitted, in writing to the HHSC Representative. The HHSC



Representative will review the questions and issue any responses via Addendum. Only information received by Addendum shall be binding.

- E. Any visitation to the site to examine the scope of work shall be requested through the HHSC Representative. Disruption of facility operations shall not be permitted.

#### 1.08 PROCEDURES DURING CONSTRUCTION

- A. Upon issuance of the Notice to Proceed, the Contractor shall submit a work schedule for review and discussion. The work schedule shall be up- dated on a weekly or bi-weekly basis as directed by the HHSC Representative.
- B. On a weekly or bi-weekly basis, the Contractor shall conduct a progress meeting with the HHSC Representative. The meeting will discuss the progress of the construction, discussion of problems, and review of outstanding issues. The Contractor shall conduct the meeting and prepare the meeting notes and minutes and distribute to all parties.
- C. During the construction, submittals and RFIs shall be submitted to the HHSC Representative with copy to the Consultant for review and action. To expedite the review, the Contractor may make submittals via email.
- D. Periodic requests for payment shall be submitted to the HHSC Representative for review and confirmation. Upon approval by the HHSC Representative, the request for payment will be forwarded to the appropriate HHSC Contracting Office for processing.
- E. Upon substantial completion of the project, the Contractor shall submit in writing to the HHSC Representative a request for a pre-final inspection. The Contractor shall have completed their own inspection and completed all noted discrepancies. Include with the request for the pre-final inspection a list of all outstanding work not completed or corrected.
- F. Upon conducting a pre-final inspection, the Consultant shall prepare a punchlist of noted discrepancies for the Contractor's remedial action. Additional items observed and noted by the HHSC Representative during the inspection shall also be included in the punchlist. A final inspection will be performed upon completion of all punchlist items.

#### 1.09 PROJECT RESTRICTIONS

- A. The Contractor is informed that the facilities will be fully occupied and work shall be performed in close coordination with the HHSC Representative. Work will require the relocation of clients from the work



area. Time shall be allocated for HHSC to conduct this relocation. Scheduling of the work shall be closely monitored and work performed to minimize the disruption to the remaining areas of the facility. All work schedules shall be approved by the HHSC Representative prior to starting.

- B. Staging and storage of materials on-site is limited and shall be coordinated with the HHSC Representative. Contractor may be required to store materials off-site at his own expense.
- C. Parking on-site is limited and may be restricted to only active delivery of materials and equipment. Coordinate with the HHSC Representative. If on-site parking not be available, the Contractor shall park off-site.
- D. The above restrictions shall be considered in the work of this project and shall be included in the Contractor's cost. No additional compensation shall be made for not considering these restrictions.

## PART 2 - PRODUCTS (Not Used)

## PART 3 – EXECUTION

### 3.01 FINAL PAYMENT REQUIREMENTS

- A. In addition to the requirements in the GENERAL CONDITIONS "Final Payment" section, the contractor shall submit"
  - 1. Tax clearance certificate from DOTAX and IRS, current within two months of the issuance date; and
  - 2. An originally signed Certificate of Compliance for Final Payment (SPO Form - 22, modified), affirming that the contractor remained in compliance with all laws as required by (§3-122-112 HAR). A contractor making a false affirmation shall be suspended and may be debarred pursuant to section 103D-702 HRS.

END OF SECTION



## SECTION 01019 - GENERAL PROJECT REQUIREMENTS

### PART 1 – GENERAL

#### 1.01 SUMMARY OF WORK

- A. Perform operations and furnish equipment, tools, materials, related items and labor necessary to execute, complete and deliver the Work as required by the Contract Documents.

#### 1.02 DIVISION OF WORK

- A. The Division and Sections into which these specifications are divided shall not be considered an accurate or complete segregation of work by trades. This also applies to work specified within each section.
- B. Where devices, or items, or parts thereof are referred to in the singular, it is intended that such reference shall apply to as many such devices, items or parts as are required to properly complete the Work.
- C. Specifications and Drawings are prepared in abbreviated form and include incomplete sentences. Omission of words or phrases such as “the Contractor shall”, “as shown on the drawings”, “a”, “an”, and “the” are intentional. Omitted words and phrases shall be provided by inference to form complete sentences.
- D. Specifying of interface and coordination in the various Specification Sections is provided for information and convenience only. Such requirements in the various Sections shall complement the requirements of this Section.

#### 1.03 NOTIFICATION

- A. Contact the HHSC Representative at least five (5) working days prior to starting any onsite work.

#### 1.04 SAFETY REQUIREMENTS

- A. The Hawaii Occupational Safety and Health Law, Chapter 396, Hawaii Revised Statutes, effective May 16, 1972, as amended, is applicable and made a part of the Contract. Carefully read and strictly comply with its requirements.



- B. Protect the facility personnel, students, and the public whenever power driven equipment is used. Ensure adequate safety precautions are used when operating any power-driven equipment.

#### 1.05 PERFORMANCE AND COORDINATION

- A. Contractor shall be in charge of the Work and the Project Contract Limits, as well as the directing and scheduling of all work. Contractor shall include general supervision, management and control of the Work of this project, and in addition to other areas more specifically noted throughout the Specifications. Final responsibility for performance, interface, and completion of the Work and the Project shall be the Contractor's.
- B. Jobsite Administration shall be the responsibility of the Contractor. Provide a competent superintendent on the job and provide an adequate staff to execute the Work. In addition, all workers shall dress neatly and conduct themselves properly at all times. Loud abusive behavior, sexual harassment and misconduct will not be tolerated. Workers found in violation of the above shall be removed from the job site as directed by the HHSC Representative.
- C. HHSC will hold the Contractor liable for all the acts of Subcontractors and shall deal only with the Prime Contractor in matters pertaining to other trades employed on the job.
- D. Coordination: Provide project interface and coordination to properly and accurately bring together the several parts, components, systems, and assemblies as required to complete the Work.
  - 1. Provide interface and coordination of all trades, crafts and subcontracts. Ensure and make correct and accurate connections of abutting, adjoining, overlapping, and related work. Provide anchors, fasteners, accessories, appurtenances, and incidental items needed to complete the Work, fully, and correctly in accordance with the Contract Documents.
  - 2. Provide additional structural components, bracing, blocking, miscellaneous metal, backing, anchors, fasteners, and installation accessories required to properly anchor, fasten, or attach material, equipment, hardware, systems and assemblies to the structure.
  - 3. Provide caulking, sealing, and flashing as required to



waterproof the building complete and as required to insulate the building thermally and acoustically. Include sealing, flashing, and related work as required to prevent moisture intrusion, air infiltration, and light leakage.

4. Materials, equipment, component parts, accessories, incidental items, connections, and services required to complete the Work which is not provided by subcontractors shall be provided by the Contractor.

#### 1.06 COOPERATION WITH OTHER CONTRACTORS

- A. HHSC reserves the right at any time to contract for or otherwise perform other or additional work within the Project Contract Limits. The Contractor of this project shall to the extent ordered by the HHSC Representative, conduct its work so as not to interfere with or hinder the progress or completion of the work performed by HHSC or other contractors.

#### 1.07 SUBMITTALS

- A. Furnish required submittals specified in this Section and in the Technical Sections. Submittals include one or more of the following: shop drawings, color samples, material samples, technical data, material safety data information, schedules of materials, schedules of operations, guarantees, certifications, operating and maintenance manuals, and field posted as-built drawings.
- B. Record Drawings: Field Posted As-Built Drawings, the intent of which is to record the actual in-place construction so that any future renovations or tie-ins can be anticipated accurately, shall be prepared and submitted by the Contractor. To accomplish this, the following procedure shall be followed by the Contractor:
  1. A full-size set of field posted as-built drawings shall be maintained at the job site. All deviations from alignments, elevations and dimensions which are stipulated on the drawings and authorizations given by the HHSC Representative to deviate from the drawings shall be clearly and accurately recorded by the Contractor on this set of record drawings.
  2. Changes shall be recorded immediately after they are constructed in place to assure they are not forgotten.



Record the changes in red pencil and where applicable, refer to the authorizing document or Change Order. The field posted as-built drawings shall be made available to the Consultant and HHSC Representative at any time so that its clarity and accuracy can be monitored.

3. The words "FIELD POSTED AS-BUILT" shall be labeled on the title sheet and certified by the Contractor as to accuracy and completeness as shown below:

FIELD POSTED AS-BUILT

Certified By: \_\_\_\_\_ Date: \_\_\_\_\_ Contractor  
(Include name and company)

4. The words "FIELD POSTED AS-BUILT" shall be labeled on all sheets in the margin space to the right of the sheet number written from the bottom upward.
5. The Index to Drawings shall be revised with the label "FIELD POSTED AS-BUILT" for each sheet. The index shall conclude with the following note: "A COMPLETE SET CONTAINS \_\_\_\_\_ SHEETS" with the total number of sheets comprising the set to be placed in the blank.
6. Any "FIELD POSTED AS-BUILT" drawing which the HHSC Representative and/or Consultant determines does not accurately record the deviation may be corrected by the Consultant and the Contractor shall be charged for the services.
7. Submit the set of "FIELD POSTED AS-BUILT" drawings to the Consultant and notify the HHSC Representative no later than five (5) calendar days prior to the date of final inspection.
8. "AS-BUILT" drawings will be prepared by the design consultant using the "FIELD POSTED AS-BUILT". Both sets of drawings will be sent to the Contractor for review and approval. The Contractor shall retain the "FIELD POSTED AS-BUILT" drawings for records, sign the "AS-BUILT" set of drawings, indicating approval, and return the drawings in a timely manner to the Consultant and notify the HHSC Representative.



1.08 CONSTRUCTION SCHEDULE:

- A. The Construction Schedule completion date will be approved prior to award. The daily activities of the Construction Schedule will be reviewed within fifteen (15) calendar days after the Notice to Proceed or upon earlier written instruction by HHSC.
- B. The schedule shall be related to the entire project to the extent required by the Contract Documents, and shall provide for expeditious and practicable execution of the work. If requested by the HHSC Representative, the Contractor shall participate in a preliminary meeting to discuss the proposed schedule and requirements prior to submission of the schedule.
- C. Contractor shall prosecute the work according to the Schedule. The HHSC Representative shall rely on the reviewed Contractor's Schedule and regular updates for planning and coordination. The HHSC Representative's review of the Contractor's Construction Schedule does not relieve the Contractor of its obligation to complete the work within the allotted contract time. Nor does the review grant, reject or in any other way act on the Contractor's request for adjustment(s) to complete remaining contract work, or for claims of additional compensation. Such requests shall be processed in accordance with other relevant provisions of the contract.
- D. If the HHSC Representative issues a Field Order or Change Order or requires Force Account Work that affects the sequence or duration of work activities noted on the construction progress schedule, the Contractor shall promptly update the schedule. This shall be accomplished by adding, deleting or revising the work activities noted, or changing the logic in the schedule to show the Contractor's plan for incorporating the change into the flow of work. All Change Orders and Time Extension requests that affect the construction schedule shall be evaluated based on their impact on the approved Construction Schedule.

1.09 MEETINGS

- A. Contractor shall meet with the HHSC Representative, weekly or other interval as determined, to discuss the progress of the Work.
- B. For each meeting, Contractor shall take meeting minutes and provide a list stating all items, work or material, which may cause a delay or have an impact on the project's contractual dates. The list



shall be inclusive of items requiring action from all responsible parties such as outstanding submittal status, request for information (clarification), force account work, change order, and change proposals. The format of this list shall be at the Contractor's discretion, subject to the HHSC Representative's approval. Submit the list to all parties for discussions as a meeting agenda. Contractor shall provide a plan of corrective action for any item, which is delayed or expected to be delayed, where that item impacts the contractual dates.

#### 1.10 PROJECT AND SITE CONDITIONS

- A. Project Contract Limits (Contract Zone Limits) shown on the drawings indicate only in general the limits of the work involved. Perform necessary and incidental work, which may fall outside of these demarcation lines. Confine construction activities within the Project Contract Limits and do not spread equipment and materials indiscriminately about the area.

#### 1.11 SANITARY FACILITIES

- A. The Contractor shall be allowed to utilize on-site restrooms as directed by the HHSC Representative. The Contractor shall maintain the facility in clean and sanitary condition at all time. Failure to do so, may require the Contractor to provide portable temporary toilet facilities for the contractor's use.

#### 1.12 CONSTRUCTION AIDS

- A. Provide construction aids and equipment required by construction personnel and to facilitate execution of the Work including: scaffolds, ladders, ramps, platforms, railings, and other such facilities and equipment.

### PART 2 - PRODUCTS

#### 2.01 QUALITY

- A. Materials, items, equipment and fixtures specified in the various Divisions and Sections shall be new unless otherwise specified.

#### 2.02 STORAGE AND HANDLING

- A. Contractor shall supervise jobsite delivery and handling, and assign storage space for materials, items, equipment and fixtures of all



trades. Contractor and installer are responsible for delivery, unloading, unpacking, handling, storage, distribution, installation and protection of its materials at the jobsite.

- B. Except as otherwise required by these specifications or by HHSC, determine and comply with manufacturer(s) recommendation(s) on product handling, storage and protection.
- C. Deliver products to the jobsite in manufacturer's original containers, with labels intact and legible. Maintain packaged material with seals unbroken and labels intact until time of use. Promptly remove damaged materials and unusable items from the jobsite, and promptly replace with material meeting the specified requirements, at no additional cost to HHSC.
- D. The Consultant may reject as non-complying such material and products that do not bear identification satisfactory to the Consultant as to manufacturer, grade, quality, and other pertinent information.

### PART 3 - EXECUTION

#### 3.01 EXAMINING THE SITE

- A. Contractor and Subcontractors are expected to visit the site and make due allowances for difficulties and contingencies to be encountered. Compare contract documents with work in place. Become familiar, with existing conditions, the conditions to be encountered in performing the Work, and the requirements of the drawings and specifications.
- B. Verify construction dimensions and elevations indicated on the drawings before any construction begins. Any discrepancy shall be immediately brought to the attention of the Consultant, and any change shall be made in accordance with the Consultant's instruction. Contractor shall not be entitled to extra payment if it fails to report the discrepancies before proceeding with any work whether within the area affected or not.
- C. Obtain all field measurements required for the accurate fabrication and installation of the Work included in this Contract. Exact measurements are the Contractor's responsibility.
- D. Furnish or obtain templates, patterns, and setting instructions as required for the installation of all Work. All dimensions shall be



verified in the field.

- E. The Contractor shall accept the site in the condition which exists at the time access is granted to begin the Work.
  - 1. Verify existing conditions and dimensions shown and other dimensions not indicated but necessary to accomplish the Work.
  - 2. Locate general reference points and take action to prevent their destruction. Lay out work and be responsible for lines, elevations and measurements and the work executed. Exercise precautions to verify figures and conditions shown on drawings before layout of work.
  - 3. Before starting the Work, the Contractor and each Subcontractor, shall verify governing dimensions and shall examine adjoining work on which the Contractor's work is in any way dependent. No additional compensation will be allowed on account of differences between actual measurements and dimensions shown. Submit differences discovered during the verification work to the Consultant for interpretations before proceeding with the associated work.

### 3.02 UTILITY SERVICE

- A. Electricity - Make arrangements with the facilities for temporary use of electricity for construction use.
- B. Telephone - Make arrangements with the utility companies for temporary telephone service for construction use or utilize cellular phone service.
- C. Water - Make arrangements for temporary water use with the facilities.

### 3.03 ENVIRONMENTAL

- A. General Contractor shall oversee that proper environmental conditions are met regarding temperature, humidity, lighting and ventilation.

### 3.04 PREPARATION AND PROTECTION

- A. Protection of Property: Continually maintain adequate protection of the Work from damage and protect all property, including but not



limited to buildings, interior or exterior finishes, equipment, furniture, grounds, vegetation, material, utility systems located at and adjoining the job site. Repair, replace or pay the expense to repair damages resulting from Contractor's work, fault or negligence.

- B. Before starting work to be applied to previously erected constructions, make a thorough and complete investigation of such recipient surfaces and determine their suitability to receive required additional construction and finishes. Contractor, at its expense, shall make whatever repairs and conditioning required to properly prepare such surfaces. Contractor shall coordinate the work to provide a suitable surface to receive following work.
- C. Commencement of work by any trade will be construed as acceptance of existing conditions and surfaces as being satisfactory for application of subsequent work, and full responsibility for finished results and assumption of warranty obligations under the Contract.
- D. Protect existing work in a manner to prevent damage including interior work from damage by vandals or the elements. Provide temporary protection. Use curtains, barricades, or other appropriate methods. Take positive measures to prevent breakage of glass and damage to plastic, aluminum and other finishes.
- E. Repairs and Replacements: In event of damage, promptly make replacements and repairs to the approval of the Consultant and/or HHSC Representative and at no additional cost to HHSC. Additional time required to secure replacements and to make repairs will not be considered to justify an extension in the Contract Time or completion.
- F. Obtain all field measurements required for the accurate fabrication and installation of the Work included in this Contract. Exact measurements are the Contractor's responsibility.
- G. Furnish or obtain templates, patterns, and setting instructions as required for the installation of all Work. All dimensions shall be verified in the field.
- H. The Contractor shall accept the site in the condition which exists at the time access is granted to begin the Work.
  - 1. Verify existing conditions and dimensions shown and other



dimensions not indicated but necessary to accomplish the Work.

2. Locate general reference points and take action to prevent their destruction. Lay out work and be responsible for lines, elevations and measurements and the work executed. Exercise precautions to verify figures and conditions shown on drawings before layout of work.
3. Before starting the Work, the Contractor and each Subcontractor, shall verify governing dimensions and shall examine adjoining work on which the Contractor's work is in any way dependent. No additional compensation will be allowed on account of differences between actual measurements and dimensions shown. Submit differences discovered during the verification work to the Consultant for interpretations before proceeding with the associated work.

### 3.05 UTILITY SERVICE

- A. Electricity - Make arrangements with the facilities for temporary use of electricity for construction use.
- B. Telephone - Make arrangements with the utility companies for temporary telephone service for construction use or utilize cellular phone service.
- C. Water - Make arrangements for temporary water use with the facilities.

### 3.06 ENVIRONMENTAL

- A. General Contractor shall oversee that proper environmental conditions are met regarding temperature, humidity, lighting and ventilation.

### 3.07 BARRICADE

- A. Erect temporary construction barricade(s) to prevent unauthorized persons from entering the project area and to the extent required by the HHSC Representative.
- B. Maintain temporary construction barricade(s) throughout the duration of the Work. During the course of the project, the HHSC Representative may require additional barricades be provided for the safety of the public. Contractor shall erect the additional



barricade(s) at its own expense.

### 3.08 INSTALLATION

- A. Materials, items, fixtures required by the various Divisions and Sections of the Specifications shall be installed in accordance with Contract Documents, by workers specially trained and skilled in performance of the particular type of work, to meet guarantee and regulatory agency requirements. Should the drawings or specifications be void of installation requirements, install the materials, items, fixtures in accordance with the manufacturer's current specifications, recommendations, instructions, and directions, and/or best construction industry standards.

### 3.09 PATCHING

- A. General Contractor shall oversee cutting and patching of concrete, masonry, structural members and other materials where indicated on drawings and as job conditions require. Unless noted elsewhere in the Drawings and Specifications, no cutting or patching of existing or new structural members will be permitted without previously notifying the HHSC Representative and Consultant.
- B. Patching materials and workmanship shall be of equal quality to that indicated on the drawings, specified for new work, and/or to match the construction of item to be patched.

### 3.10 CLEAN-UP

- A. Rubbish and debris resulting from work of the various Divisions and Sections of the specifications shall be collected and disposed of by the Contractor at legal disposal areas away from the project site. Clean up and remove from premises all debris accumulated from operations from time to time and as directed by the HHSC Representative. Permission to provide on-site trash containers shall be granted by HHSC and shall be placed where directed by the HHSC Representative.

END OF SECTION



## SECTION 01100 – SUMMARY

### PART 1 - GENERAL

#### 1.01 WORK COVERED BY CONTRACT DOCUMENTS

- A. Project Identification: The work shall generally consist of Base Bid: Modifications to the first floor entry off Hala Drive, renovation of the first floor therapy room toilet, second floor makai patient rooms and second & third floors dayroom toilets. Additive Alternate 1: Second floor mauka patient rooms, Additive Alternate 2: Third floor makai patient rooms and Additive Alternate 3: Third floor mauka patient rooms.

- 1. Project Location: Maluhia, 1027 Hala Drive, Honolulu, Hawaii.

- B. Perform operations and furnish equipment, tools, materials, related items and labor necessary to execute, complete and deliver the Work as required by the Contract Documents.
- C. The Division and Sections into which these specifications are divided shall not be considered an accurate or complete segregation of work by trades. This also applies to work specified within each section
- D. Contractor shall not alter the Drawings and Specification. If an error or discrepancy is found, notify the Consultant.
- E. Specifying of interface and coordination in the various specification sections is provided for information and convenience only. These requirements in the various sections shall complement the requirements of this Section.

#### 1.02 SPECIFICATION FORMATS AND CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
  - 1. Abbreviated Language: Language used in the Specifications and other Contract Documents is abbreviated and include incomplete sentences. Omission of words or phrases such as “the Contractor shall”, “as shown on the drawings”, “a”, “an”, and “the” are intentional. Omitted words and phrases shall be provided by inference to form complete sentences. Words and



meanings shall be interpreted as appropriate. Words implied, but not stated, shall be inferred, as the sense requires. Singular words shall be interpreted as plural, and plural words shall be interpreted as singular where applicable as the context of the Contract Documents indicates. Where devices, or items, or parts thereof are referred to in the singular, it is intended that such reference shall apply to as many such devices, items or parts as are required to properly complete the Work.

2. Imperative mood and streamlined language are generally used in the Specifications. Requirements expressed in the imperative mood are to be performed by Contractor. Occasionally, the indicative or subjunctive mood may be used in the Section Text for clarity to describe responsibilities that must be fulfilled indirectly by Contractor or by others when so noted.
  - a. The words “shall,” “shall be,” or “shall comply with,” depending on the context, are implied where a colon (:) is used within a sentence or phrase.
3. Abbreviations and Acronyms for Industry Organizations: Where abbreviations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the entities indicated in Gale Research’s “Encyclopedia of Associations” or in Columbia Books’ “National Trade & Professional Associations of the U.S.”

#### B. Definitions

1. Directed: Terms such as “directed,” “requested,” “authorized,” “selected,” “approved,” “required,” and “permitted” mean directed by HHSC Representative, requested by HHSC Representative, and similar phrases.
2. Indicated: The term “indicated” refers to graphic representations, notes, or schedules on drawings or to other paragraphs or schedules in specifications and similar requirements in the Contract Documents. Terms such as “shown,” “noted,” “scheduled,” and “specified” are used to help the user locate the reference.
3. Furnish: The term “furnish” means to supply and deliver to project site, ready for unloading, unpacking, assembly, installation, and similar operations.
4. Install: The term “install” describes operations at project



site including unloading, temporarily storing, unpacking, assembling, erecting, placing, anchoring, applying, working to dimension, finishing, curing, protecting, cleaning, and similar operations.

5. Provide: The terms “provide” or “provides” means to furnish and install, complete and ready for the intended use.
6. Installer: An installer is the contractor or another entity engaged by contractor as an employee, subcontractor, or sub- subcontractor, to perform a particular construction operation, including installation, erection, application, and similar operations.
7. Submit: Terms such as “submit,” “furnish,” “provide,” and “prepare” and similar phrases in the context of a submittal, means to submit to the HHSC Representative and/or Consultant.

B. Industry Standards

1. Applicability of Standards: Unless the Contract Documents include more stringent requirements, applicable construction industry standards have the same force and effect as if bound or copied directly into the Contract Documents to the extent referenced. Such standards are made a part of the Contract Documents by reference.
2. Publication Dates: Comply with standards in effect as of date of the Contract Documents, unless otherwise indicated.
3. Conflicting Requirements: If compliance with two or more standards is specified and the standards establish different or conflicting requirements for minimum quantities or quality levels, comply with the most stringent requirement. Refer uncertainties and requirements that are different, but apparently equal, to HHSC Representative and Consultant for a decision before proceeding.

1.03 WORK SEQUENCE

- A. The Work will be conducted in a single construction phase.

1.04 USE OF PREMISES AND WORK RESTRICTIONS



- A. General: Contractor shall have full use of construction zone for construction operations, including restricted use of project site, during construction period. Contractor's use of premises is limited only by State's right to perform work or to retain other contractors on portions of the project site.
- B. Contractor's use of premises is restricted as follows:
  - 1. Construction Times and Schedule:
    - a. The Contractor shall coordinate the work schedule with the HHSC Representative. An advanced notice of 15 calendar days shall be provided prior to the start of work. Work can be scheduled for weekdays (8:00 AM to 4:30 PM) with advanced notice by the Contractor.
    - b. The normal operational hours are 8:00 AM to 4:30 PM, Monday through Friday.
    - c. Unless restricted elsewhere in these specifications, the Contractor may not perform work outside of normal daily operation hours. Weekend or holiday work may be permitted with the approval of the HHSC Representative. Any weekend or holiday work shall require a 15 calendar day advanced notice.
    - d. Work performed during normal operating hours shall not impede public traffic or office personnel. An alternate route around the work areas may be required.
  - 2. Site Access and Parking:
    - a. Arrange all on-site parking and access with the HHSC Representative.
    - b. Permanent use of the loading area is prohibited.
    - c. Subject to availability, the HHSC Representative will designate other on-site areas that may be used by the Contractor other than assigned stalls. Restore any property damaged by construction activities at the completion of the project.
  - 3. Sanitation and Utilities:
    - a. Contractor may use designated restrooms, however,



shall maintain the facilities in clean condition at all times. Coordinate with the HHSC Representative.

- b. Arrange all temporary electricity and water service with the HHSC Representative. There will be no charges for reasonable electricity and water service.
- c. Should interruption of any utility services be required, outages shall be coordinated with the HHSC Representative. A minimum five (5) working days notice shall be provided. Contractor is forewarned that the HHSC Representative may require outages to be done at specific times to minimize disruptions to the facility operations.

4. Other Conditions:

- a. Noise and other disrupting activities normally resulting from construction operations are detrimental to the conduct of normal activities in adjacent locations surrounding the project area. Accordingly, exercise every precaution to keep noise levels to a minimum. Internal combustion engines and compressors shall be equipped with mufflers to reduce noise to a minimum.
- b. Use or application of materials with offensive odors should be avoided and may be restricted from use on this project.

1.05 WORK UNDER OTHER CONTRACTS

- A. Separate Contract: The HHSC may execute a separate contract for certain construction at the facility that was not known at the time Offers were submitted.
- B. Cooperate fully with separate contractors so work on those contracts may be carried out smoothly, without interfering with or delaying work under this Contract.

PART 2 - PRODUCTS (Not Used)

PART 3 – EXECUTION (Not Used)

END OF SECTION



## SECTION 01140 – WORK RESTRICTIONS

### PART 1 – GENERAL

#### 1.01 SUMMARY

A. This section includes work restrictions on the Contractor's operations, and construction as required to maintain the facility's operation during the construction period.

#### B. CONSTRUCTION PROVISIONS

1. Rules and Regulations: Consult with the HHSC Representative at the pre-construction conference and become familiar with the rules and regulations of the facility.
2. Contractor's Operations: Confine all construction operations to the immediate vicinity of the construction activity. Store building materials, equipment, tools and incidentals in an enclosed area as directed by the HHSC Representative. Take precautions and prevent access to power equipment, tools, etc., by other than authorized construction personnel. Perform operations to ensure the safety of the occupants of the buildings at all times.
3. Perform operations to minimize inconvenience or disturbance upon the personnel and residents.
4. Protection of occupants: Special consideration must be made by the Contractor at all times to safely protect the occupants and facility personnel from any and all injuries that may be caused as a result of the work performed under this contract.
5. Caution: The Contractor shall caution his personnel on the job that any association with the occupants be avoided as much as possible, that when spoken to by occupants, normal courtesy shall be maintained at all times.
6. None of the foregoing regulations shall be construed as a restriction on the legal prosecution of the work.

#### 1.02 SEQUENCING OF WORK

A. The Contractor shall schedule his work in general consideration for the on-going operation of the facility. All work shall be coordinated with the HHSC Representative. Contractor shall consider in his proposal interruptions or delays to his schedule of work due to special requirements of HHSC.

END OF SECTION



## SECTION 01300 - SUBMITTALS

### PART 1 – GENERAL

#### 1.01 GENERAL REQUIREMENTS

Where indicated in these specifications, provide submittals to the HHSC Representative and Consultant for review.

#### 1.02 PROCEDURES

- A. Unless otherwise specified, deliver submittals to the HHSC Representative with copy to the Consultant.
- B. Transmit all items using form which identifies Project, Contractor, Subcontractor, and major supplier. Identify pertinent drawing sheet, detail number, and specification section number, as appropriate. Identify deviations from Contract Documents. Provide space for the Consultant's review stamp.
- C. Upon completion of review by the Consultant and HHSC Representative, the HHSC Representative will return submittals to the Contractor with copy to the Consultant.

#### 1.03 SCHEDULE OF WORK

- A. Coordinate Schedule with Work Sequence specified in Section 01140.

#### 1.04 SHOP DRAWINGS AND SAMPLE SUBMITTALS

- B. All submittals shall be made in accordance with the following unless otherwise specified. Minimum sheet size is 8-1/2" x 11". Maximum sheet size is same size as the Contract Drawings. Drawings shall be presented in a clear and thorough manner. Details shall be identified by reference to sheet, schedule, and detail shown on Contract Drawings.
- C. Mark each copy to identify applicable products, and other data. Supplement manufacturer's standard data to provide information unique to the work. Include manufacturer's installation instructions when required by the specification.
  - 1. The Contractor shall review, stamp with his approval and submit with reasonable promptness and in orderly sequence so as to cause no delay in work of any other Subcontractor, all shop drawings, and product data required by these



specifications.

2. Properly identify shop drawings and samples as specified. At the time of submission, the Contractor shall inform the Consultant in writing of any deviation in the shop drawings or submittals from requirements of the Contract Documents.
3. By approving and submitting the shop drawings and submittals the Contractor thereby represents that he has determined and verified all field measurements, field criteria, materials, catalog numbers and similar data, or will do so, and that he has checked and coordinated each shop drawing and sample with the requirements of these specifications.
4. Six (6) copies of the Shop Drawings and submittals shall be submitted for review. Upon review, the Consultant will retain three (3) copies and return the balance to the Contractor.
5. The Consultant will review the shop drawings and submittals with reasonable promptness so as to cause no delay but only for conformance with the design concept of the Project and with the information given in the Contract Documents. The Consultant's review of a separate item shall not indicate approval of an assembly in which the item functions.
6. The Contractor shall make any corrections required by the Consultant and shall resubmit the required number of corrected copies of shop drawings or submittals for review. The Contractor shall direct specific attention in writing or on resubmitted shop drawings to revisions other than the corrections requested by the Consultant on previous submissions.
7. The Consultant's review of shop drawings or submittals shall not relieve the Contractor of responsibilities for any deviation from the requirements of the Contract Documents unless the Contractor has informed HHSC in writing of such deviation, at time of submission, and the HHSC Representative and/or Consultant has given written approval to the specific deviation; nor shall the Consultant's review relieve the Contractor from responsibility for errors or omissions in the shop drawings or samples.
8. No portion of the work requiring a shop drawing or sample submission shall be commenced until the submission has been reviewed by the Consultant and HHSC Representative.



All such portions of the work shall be in accordance with reviewed shop drawings and samples.

- D. Samples: Submit full range of manufacturer's standard textures, colors, and patterns for HHSC's selection. Submit samples as specified in the respective Specification sections and as noted above. Samples shall illustrate functional characteristics of the Product, with integral parts and attachment devices. Coordinate submittal of different categories for interfacing work. Include identification on each sample, giving full information.

1.05 BIDDER'S SPECIAL RESPONSIBILITY FOR COORDINATING CONTRACTURAL WORK AND SUBMITTALS:

- A. The General Contractor shall be responsible for the coordination of all contractual work and submittals.
- B. The General Contractor shall have a rubber stamp made up in the following format:

Contractor's Name

PROJECT: \_\_\_\_\_  
\_\_\_\_\_

PROJECT NO.: \_\_\_\_\_

THIS SUBMITTAL HAS BEEN CHECKED BY  
THIS GENERAL CONTRACTOR. IT IS  
CERTIFIED CORRECT, COMPLETE, AND IN  
COMPLIANCE WITH CONTRACT DRAWINGS  
AND SPECIFICATIONS. ALL AFFECTED  
CONTRACTORS AND SUPPLIERS ARE AWARE  
OF, AND WILL INTEGRATE THIS SUBMITTAL  
INTO THEIR OWN WORK.

DATE RECEIVED \_\_\_\_\_  
SPECIFICATION SECTION # \_\_\_\_\_  
SPECIFICATION PARAGRAPH # \_\_\_\_\_  
DRAWING \_\_\_\_\_  
SUBCONTRACTOR \_\_\_\_\_  
SUPPLIER \_\_\_\_\_  
MANUFACTURER \_\_\_\_\_

CERTIFIED BY: \_\_\_\_\_



- C. This stamp, "filled-in", should appear on the title sheet of each shop drawing, on a cover sheet of submittals in an 8-1/2" x 11" format, or on one face of a cardstock tag (min. 3" x 6") tied to each sample. The tag on the samples should state what the sample is, so that if the tag is accidentally separated from the sample, they can be matched up again. The back of this tag will be used by the Consultant for his receipt, review, and log stamp and for any comments that relate to the sample.
- D. All submittals for material and shop drawings listed in the contract documents, shall be required and shall be first reviewed and certified by the General Contractor, then reviewed and approved by Consultant and HHSC Representative, prior to any ordering of materials and equipment. Submittals that have not been reviewed by the General Contractor shall be returned for review.

#### 1.06 MANUFACTURER'S CERTIFICATES

Submit certificates, warranties, operating and maintenance instructions in accordance with requirements of each specification section. Submit in triplicate.

#### 1.07 MSDS

MSDS shall be submitted prior to the pre-construction meeting. The Contractor shall submit MSDS log and reference each MSDS to its specification Section number and product system.

#### PART 2 - PRODUCTS

(Not used.)

#### PART 3 - EXECUTION

(Not used.)

END OF SECTION



## SECTION 01310 – PROJECT COORDINATION

### PART 1 – GENERAL

#### 1.01 SUMMARY

- A. This Section establishes administrative and procedural requirements for coordinating construction activities associated with the renovation of various areas at Maluhia to bring the facility into compliance with the 2010 ADA Standards for Accessible Design.
- B. Coordination includes sequencing and scheduling to minimize disruption to long-term care residents, communication protocols with the HHSC representative, and management of material storage and site logistics.
- C. The Contractor is required to develop and submit a Work Plan outlining phased renovations, access requirements, and disruption mitigation measures.

#### 1.02 RELATED REQUIREMENTS

- A. Refer to Division 1 general requirements and related sections including:
  - a. Section 01019 – General Project Requirements
  - b. Section 01100 – Summary of Work
  - c. Section 01140 – Work Restrictions
- B. Section requirements for ADA compliance, healthcare facility safety, and infection control shall apply where referenced.
- C. Contractor shall comply with all HHSC policies related to construction in occupied healthcare environments.

#### 1.03 COORDINATION WITH FACILITY OPERATIONS

- A. Coordinate all construction activities with the designated HHSC representative to ensure adequate notification and preparation of staff and residents.
- B. Plan work zones in collaboration with HHSC to avoid interference with normal facility operations and critical patient care areas.
- C. Contractor personnel shall be sensitive to the needs of long-term care residents; noise, dust, and access disruptions shall be minimized and scheduled to reduce impact.



#### 1.04 SCHEDULING AND ACCESS REQUIREMENTS

- A. Contractor shall prepare and submit a detailed phased Work Plan and schedule identifying the order of zone renovations and proposed timelines.
- B. Access to occupied areas, especially bathrooms within resident rooms, must be coordinated to maintain resident safety and privacy.
- C. Contractor shall provide at least two (2) weeks' notice to the HHSC Representative prior to beginning work in any zone to allow adequate planning for resident accommodations.
- D. Emergency access and egress routes must be maintained at all times and coordinated with HHSC.

#### 1.05 SAFETY AND TRAFFIC CONTROL

- A. Contractor is responsible for all site safety measures including pedestrian protection and traffic control for work trucks and equipment.
- B. Materials storage and contractor vehicle parking must be confined to designated areas approved by the HHSC Representative to avoid disruption of hospital access routes.
- C. Traffic control plans shall be submitted and approved prior to mobilization.
- D. Compliance with all OSHA, local safety codes, and HHSC safety protocols is mandatory.

#### 1.06 TEMPORARY DISRUPTIONS AND NOTIFICATIONS

- A. Contractor shall provide written notice to affected residents and HHSC Office at least two (2) weeks prior to any work that will temporarily disrupt resident access, utilities, or facility services.
- B. Notices shall include work descriptions, expected durations, inconvenience mitigation measures, and contact information for contractor key personnel.
- C. Contractor shall coordinate temporary relocation or alternative provisions for essential services such as bathrooms during renovations.
- D. All disruptions shall be scheduled to minimize impact on facility operations and resident well-being.



PART 2 - PRODUCTS (Not used)

PART 3 - EXECUTION (Not used)

END OF SECTION



## SECTION 01577 - POLLUTION CONTROL

### PART 1 - GENERAL

#### 1.01 SUMMARY

- A. Includes site and environmental control requirements.

#### 1.02 TRASH, REFUSE DISPOSAL

- A. Assume all ballast or lamps from removed light fixtures contain mercury and are PCB contaminated. Dispose fixtures properly in accordance with federal, state, and local requirements
- B. Burning of debris and/or waste materials on the project site is prohibited.
- C. Do not bury debris and/or waste material on the project site, unless specifically allowed elsewhere in these specifications as backfill material.
- D. Haul unusable debris and waste material to an appropriate off-site dump area. During loading operations, water down or provide other measures to prevent dust or other airborne contaminants.
- E. Vacuum, wet mop, or damp sweep when cleaning rubbish and fines which can become airborne from floors or other paved areas. Do not dry sweep.
- F. Use enclosed chutes and/or containers to conveying debris from above the ground floor level.
- G. Clean-up shall include the collection of all waste paper and wrapping materials, cans, bottles, construction waste materials and other objectionable materials, and removal as required. Frequency of clean-up shall coincide with rubbish producing events. The Contractor shall be responsible for all clean-up cost.

#### 1.03 DUST

- A. Prevent dust from becoming airborne at all times including non-working hours, weekends and holidays in conformance with the State Department of Health, Administrative Rules, Title 11, Chapter 60 - Air



#### Pollution Control.

- B. Contractor is responsible for and shall determine the method of dust control. Subject to the Contractor's choice, the use of water or "environmentally friendly chemicals" may be used over surfaces which create airborne dust.
- C. Construct or erect dust control barriers as required to retain dust within the project site area.
- D. Contractor is responsible for all damage claims resulting from failure to control airborne dust during all times that the site is under the Contractor's control.

#### 1.04 NOISE

- E. Keep noise within acceptable levels at all times in conformance with the State Department of Health, Administrative Rules, Title 11, Chapter 46 - Community Noise Control. Contractor shall obtain and pay for the Community Noise Permit from the State Department of Health when the construction equipment or other devices emit noise at levels exceeding the allowable limits.
- F. To reduce loud disruptive noise levels, ensure mufflers and other devices are provided on equipment, internal combustion engines and compressors. Maintain equipment to reduce noise to acceptable levels.
- G. Starting-up of construction equipment meeting allowable noise limits shall not be done prior to 8:00 a.m. without prior approval of the HHSC Representative. Equipment exceeding allowable noise levels shall not be started-up prior to 8:00 a.m.

#### 1.05 SUSPENSION OF WORK

- H. Violations of any of the above requirements or any other pollution control requirements which may be specified in the Specifications shall be cause for suspension of the work creating such violation.
- I. Reference the General Conditions Construction, dated 3/17/06 for the suspension procedures.



- J. The HHSC Representative may also suspend any operations which creates a pollution problems even if the problem does not violate the provisions of this Section. In this instance, the work is considered a Change and subject to the provisions of the contract.

PART 2 - PRODUCTS (Not used)

PART 3 - EXECUTION (Not used)

END OF SECTION



## SECTION 01715 - EXISTING CONDITIONS - ASBESTOS HAZARDOUS MATERIAL SURVEY

### PART 1 - GENERAL

#### 1.01 SUMMARY

- A. This section includes the results of the State's survey for Asbestos is provided for the Contractor's information.

#### 1.02 ASBESTOS

- A. The structure to be renovated or modified under this contract were surveyed for the presence of asbestos containing materials (ACM). A copy of the initial survey report, as well as any subsequent supplemental survey report if performed, is included in this Section.
  - 1. The report is included, even when no ACM was found, for the Contractor's information. Review the attached report for the basis on which the negative ACM finding was made. The Contractor may perform further surveys at its own expense, if ACM not shown in the report is suspected in the areas of the building in which work will be performed. If ACM is found, notify the HHSC Representative and/ or General Contractor immediately. HHSC will reimburse the Contractor for reasonable costs for the testing cost if ACM is found.
  - 2. If there is ACM outside of the areas in which work will be performed, this ACM shall not be disturbed in any way.
- B. If applicable, notify employees, subcontractors, and all other persons engaged on the project of the presence of asbestos in the existing buildings in accordance with the State of Hawaii: Occupational Safety and Health Administration and 29 CFR 1926.1101, Asbestos.
- C. In the event that work is required in any building or buildings on the site other than the one designated within this project scope, request copies of the asbestos survey report for such building from the HHSC Representative. Based on the information contained in the additional survey, notify affected personnel.

### PART 2 - PRODUCTS (Not used)

### PART 3 – EXECUTION (Not Used)

END OF SECTION



SECTION 01900 – FORM OF PROPOSAL

PART 1 - GENERAL

1.01 FORM OF PROPOSAL

**Maluhia**

1027 Hala Drive  
Honolulu, Hawaii 96817

Attention: Mr. Todd Nordstrom  
CIP Coordinator

Gentlemen:

The Undersigned submits the following Proposal:

**Bid:** Having carefully examined the Plans and Specifications entitled, “**MALUHIA ADA RENOVATIONS, MALUHIA, 1027 HALA DRIVE, HONOLULU, HAWAII 96817**” as well as the site and conditions affecting the work, the Undersigned proposes to furnish labor and materials and to perform work required by, and in strict accordance with the above named documents for the sum of:

**Base Bid:** Hala Drive First Floor Entry, First Floor Therapy Room Toilet, Second Floor Makai Patient Rooms, Second Floor Dayroom Toilet and Third Floor Dayroom Toilet.

\_\_\_\_\_ Dollars (\$\_\_\_\_\_).

**Additive Alternate 1:** Second Floor Mauka Patient Rooms.

\_\_\_\_\_ Dollars (\$\_\_\_\_\_).

**Additive Alternate 2:** Third Floor Makai Patient Rooms.

\_\_\_\_\_ Dollars (\$\_\_\_\_\_).

**Additive Alternate 3:** Third Floor Mauka Patient Rooms.

\_\_\_\_\_ Dollars (\$\_\_\_\_\_).

**Allowance:** Include \$35,000 in bid to test and remove asbestos in drywall and joint compound.



## 1.02 PROTECT RECORD DOCUMENTS

- A. Store documents separate from those used for construction. Keep documents (As-built) current and do not permanently conceal any work until required information has been recorded. At Contract closeout, Contractor shall scan project site and record document information and store as pdf files. Contractor shall include in his price, the cost to provide these services.

## 1.03 WARRANTIES

- A. Provide copies, include submittals and assemble documents executed by subcontractors, suppliers, and manufacturers.

## 1.04 FINAL CLEANING

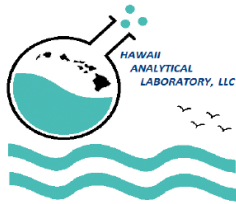
- A. At the completion of the Project, prior to acceptance and prior to the final inspection, thoroughly clean the job site, building and work areas. Vacuum clean where appropriate and remove grease, adhesive, dust, dirt, stains, fingerprints, labels, and other foreign materials from sight-exposed interior and exterior surfaces. Use commercial cleaning compounds where necessary. Clean all existing flooring material adjacent to work area. Clean all painted surfaces where soiled.
- B Also prior to final inspection, clean the site and put it into a neat, acceptable condition. Contractor shall conduct an inspection of sight-exposed interior surfaces, to verify that the entire work is clean and ready for final inspection.

PART 2 - PRODUCTS (Not used)

PART 3 - EXECUTION (Not used)

END OF SECTION





## Hawaii Analytical Laboratory ANALYTICAL REPORT

Tuesday, March 21, 2023

Ohana Environmental Construction, Inc.  
2968 Ualena Street  
Honolulu HI 96819

Phone Number: (808)836-6955  
Facsimile: (808) 836-3833  
Email: -

Lab Job No: 202302396  
Date Submitted: 3/15/2023  
Your Project: Maluhia Nursing Home - Room #213, 3/14/23

### Bulk Asbestos Determination

Sample No.	Your Sample ID / Description	Asbestos Present?	Type	%v/v	Other Fibrous	%v/v Matrix	Date Analyzed
202317994	#1		NONE DETECTED		Cellulose (undulose) + fibrous glass (amorphous)	15 Gypsum + mica	3/21/2023
Layer	White drywall						
Comments							
202317994	#1	Yes	Chrysotile	< 1	None detected	Calcite + paint	3/21/2023
Layer	White joint compound (1) / white paint						
Comments							
202317994	#1	Yes	Chrysotile	< 1	Cellulose (undulose)	30 Calcite	3/21/2023
Layer	White joint compound (2) / paper						
Comments							
202317995	#2	Yes	Chrysotile	< 1	None detected	Calcite + paint	3/21/2023
Layer	White joint compound (1) / off-white paint						
Comments							
202317995	#2	Yes	Chrysotile	< 1	Cellulose (undulose)	30 Calcite	3/21/2023
Layer	White joint compound (2) / paper						
Comments							
202317996	#3		NONE DETECTED		Cellulose (undulose) + fibrous glass (amorphous)	15 Gypsum + mica	3/21/2023
Layer	White drywall						
Comments							

Hawaii Analytical Laboratory is a NIST NVLAP accredited laboratory (NVLAP Lab Code 200655-0) and is accredited in accordance with the recognized ISO/ IEC 17025:2017. Controlled doc.: Asbestos Report, rev. 3 - 20200630

3615 Harding Avenue, Ste. 308, Honolulu, HI 96816 - Telephone: (808) 735-0422 - Fax: (808) 735-0047

Page 1 of 2



Ohana Environmental Construction, Inc.  
2968 Ualena Street  
Honolulu HI 96819

Phone Number: (808)836-6955  
Facsimile: (808) 836-3833  
Email: -

Lab Job No: 202302396  
Date Submitted: 3/15/2023  
Your Project: Maluhia Nursing Home - Room #213, 3/14/23

### Bulk Asbestos Determination

Sample No.	Your Sample ID / Description	Asbestos Present?	Type	%v/v	Other Fibrous	%v/v Matrix	Date Analyzed
202317996	#3 <u>Layer</u> <u>White joint compound (1) / white paint</u>	Yes	Chrysotile	< 1	None detected	Calcite + paint	3/21/2023
Comments							
202317996	#3 <u>Layer</u> <u>White joint compound (2) / paper</u>	Yes	Chrysotile	< 1	Cellulose (undulose)	30 Calcite	3/21/2023
Comments							

#### General Comments

The bulk sample[s] analysis subject of this analytical report were conducted in general accordance with the procedures outlined in the United States Environmental Protection Agency's "Interim Method for the Determination of Asbestos in Bulk Insulation Samples" (EPA-600/M4-82-020, Dec. 1982) and / or "Method for Determination of Asbestos in Bulk Building Materials" (EPA-600/R-93-116, July 1993). The analysis of each bulk sample relates only to the material examined, and may or may not represent the overall composition of its original source. Floor tile and other resinously bound materials, when analyzed by the EPA methods referenced above may yield false negative results because of limitations in separating closely bound fibers and in detecting fibers of small length and diameter. Alternative methods of identification, including Transmission Electron Microscopy (TEM) may or may not be applicable. We utilize calibrated visual area estimation on a routine basis and do not conduct point counting unless specifically requested to do so. Estimated error for the visual determinations presented are 75% relative (1 to 2%), 50% relative (3 to 5%); 25% relative (6 to 25%) and 20% (>26% v/v). We will not separate layers which in our opinion are not readily discernable. This report is not to be duplicated except in full without the expressed written permission of Hawaii Analytical Laboratory. This report must not be used by the client to claim product certification, approval or endorsement by NVLAP, NIST or any agency of Federal Government. Unless otherwise indicated, the sample condition at the time of receipt was acceptable.

#### Results and Symbols Definitions

> This testing result is greater than the numerical value listed.

< This testing result is less than the numerical value listed.

None Detected = asbestos was not observed in the sample. If trace amount of asbestos was detected below our quantifiable limits of 1.0%, <1% (trace) would be indicated and the asbestos type listed. Point counting, where applicable, are recommended to improve accuracy.



Anne Antin  
Quality Control Manager

Hawaii Analytical Laboratory is a NIST NVLAP accredited laboratory (NVLAP Lab Code 200655-0) and is accredited in accordance with the recognized ISO/IEC 17025:2017. Controlled doc.: Asbestos Report, rev. 3 - 20200630

3615 Harding Avenue, Ste. 308, Honolulu, HI 96816 - Telephone: (808) 735-0422 - Fax: (808) 735-0047

Page 2 of 2







## SECTION 02055 - SELECTIVE DEMOLITION AND REMOVAL

### PART I - GENERAL

1.01 GENERAL REQUIREMENTS: Furnish all labor, materials, tools and equipment necessary to complete all removal work and surface preparation work as specified herein.

1.02 SPECIAL REQUIREMENTS:

- A. The Contractor shall visit the site, examine the areas and note all existing conditions and extent of work involved for the complete removal and surface preparation work required.
- B. The Contractor shall comply with pollution control regulations and safety code. See POLLUTION CONTROL Section 01577 also.
- C. The project has been tested for hazardous materials including asbestos containing materials. The report prepared by Hawaii Analytical Laboratory dated 3/21/2023 is attached. ***Contractor to include in his price allowance noted in Section 01900 Form of Proposal for testing of areas where drywall and joint compound are to be removed to perform work and removal of asbestos as necessary.***
- D. Negative air pressure monitoring and testing are required for all interior work. The following minimums shall apply:
  - 1. Testing via smoke test.
  - 2. Negative air at all entry points to project site
  - 3. 6 air exchanges per hour minimum.
  - 4. Use air scrubbers with HEPA filters for exhaust.
  - 5. Documentation noting equipment servicing frequency and checks.
- E. Smoke detection
  - 1. Contractor to install and remove temporary smoke detector covers during dust creating activities, hot work, etc.
  - 2. Pull stations, if existing in construction area, are to remain active for means of notification in case of fire.
  - 3. Provide fire watch. Contractor to provide fire watch log during normal work hours. Maluhia to provide fire watch log after normal work hours.
- F. Existing Utility Lines
  - 1. Permanently remove to the extent possible, seal and cap all utility lines not to be replaced or reused. Cut and cap unused utility lines below suspended concrete floor slab.



## PART 2 - PRODUCTS

### 2.01 MATERIALS:

- A. Damaged surfaces or items shall be patched by the Contractor with materials which are equal or better in quality.

## PART 3 – EXECUTION

### 3.01 GENERAL

- A. All work shall be executed in an orderly and careful manner with due consideration for the remaining parts of the building.

### 3.02 REMOVAL WORK

- A. Remove existing flooring, equipment, plumbing fixtures, furnishings, etc. , as indicated on the drawings and/or specified herein.
- B. All dismantled materials having no salvage value as determined by the Architect or HHSC Representative shall become the property of the Contractor and shall be completely removed and hauled away from the premises. Contractor shall recycle all materials to be disposed off to the greatest extent possible.

### 3.03 SURFACE PREPARATION WORK

- A. All surfaces to receive manufactured finishes shall be inspected by the manufacturer's representative as approved for installation of new materials. Should the manufacturer's representative find discrepancies in the preparation work, all such discrepancies shall be corrected at no additional cost to the project.
- B. Contractor shall repair any damages occurring during the progress of the work.

### 3.04 PATCHWORK: All areas or surfaces damaged as a result of removal work shall be patched to match existing adjacent surfaces and/or areas to the satisfaction of the Architect.

### 3.05 TEMPORARY BARRICADES

- A. The Contractor shall provide, erect and maintain safety barricades around the project areas during the execution of work under this contract including work done by other sections. At the discretion and approval of the Architect and/or HHSC Representative, alternative means to provide safety around the project area are acceptable.



- B. Barricades shall be constructed from durable materials to provide necessary protection and security of the project area.
- C. The barricades shall remain until final acceptance of the project or until the hazardous condition no longer remains and approval is given by the Architect and/or HHSC Representative for their removal.

### 3.06 CLEAN-UP

- A. From time to time, as directed by the Architect and/or HHSC Representative, and at the completion of the removal work, remove from the site all rubbish, debris, fines, etc., accumulated from this work and leave the area neat and clean to the satisfaction of the Architect and/or HHSC Representative.
- B. After the completion of the repair work and before the final acceptance of the project, the Contractor shall clean all areas of all rubbish, debris, fines, etc.

END OF SECTION



## SECTION 02056 – PATCHING

### PART 1 - GENERAL

#### 1.01 GENERAL REQUIREMENTS

A. Division One, “General Requirements” is hereby made a part of this section.

#### 1.02 SCOPE OF WORK

Furnish all labor, materials and equipment necessary to perform any and all repair work and patching on the existing building caused by demolition, removal work, or resulting from the Contractor's operations.

#### 1.03 SUBMITTALS

Submit manufacturer's specifications, recommendations, and installation and instructions for all patching work.

#### 1.04 MATERIALS

All materials used for patching work shall be new and of grade compatible with the existing material. All materials shall be of the best of their respective kind and such that when they are installed or applied the finish of the new material shall match that of the adjoining existing surfaces of similar material.

#### 1.05 REPAIR AND PATCHING

- A. Cavities and/or openings resulting from removal work shall be filled and finished to match existing surfaces. Wherever possible, the patchwork shall be in whole units, not in part or parts of the whole. When cavities and/or openings are created from removal work in fire rated corridor walls, shaft walls and roof structure, an approved UL system shall be used.
- B. Patching work shall be accomplished in accordance with the best standard practices of the trade, and by persons skilled in the trade.
- C. All concrete, plaster, floor tile, ceiling finish etc., shall be matched with the existing and finish texture shall blend into the existing adjacent surface.
- D. Patch holes in concrete slab using galvanized wire fabric. No paper backing or stuffing allowed in concrete patches.
- E. Touch-up painting shall match the existing adjacent surface. Apply one prime coat and one finish coat at existing surfaces altered by renovation work not scheduled for painting.
- F. Non-shrink grout for patching shall be prepared, mixed and applied in accordance with the manufacturer's recommendations.

END OF SECTION



## SECTION 06100-ROUGH CARPENTRY

### PART 1- GENERAL

#### 1.01 GENERAL REQUIREMENTS

A. Division One, "General Requirements" is hereby made a part of this section.

#### 1.02 DESCRIPTION

This section includes everything necessary for and incidental to the execution and completion of the rough carpentry work as shown and as specified. Install all wood framing indicated on the plans.

All concealed lumber shall be fire-retardant treated.

#### 1.03 GUARANTEES AND CERTIFICATES

Provide one (1) Year Guarantee against defective carpentry materials and workmanship for all individual products or assemblies or products shown on the drawings and specified herein.

#### 1.04 GENERAL

- A. Qualification of Workmen: Provide sufficient workmen and supervisors who shall be present at all times during execution of this portion of the Work, and who shall be thoroughly familiar with the type of construction involved and the materials and techniques specified.
- B. Rejection: In the acceptance or rejection of rough carpentry, the Architect will make no allowance for lack of skill on the part of the workmen.
- C. Supervision: Perform carpentry work under direction of a capable experienced foreman. Cooperate with subcontractors and tradesmen doing the work. Carefully plan and lay out work of construction.
- D. Cutting: Under this section, have skilled mechanics do the cutting and framing of wooden members required to accommodate structural members, routing of piping, conduit, ducts, and installation of mechanical, electrical or other apparatus or equipment.
- E. Framing: Provide necessary shoring, bracing, or temporary structural units required to properly and safely construct framing indicated and specified. Accurately saw-cut lumber and timber framing and fit into respective positions, and securely nail, spike, lag screw, or bolt together as indicated, specified or directed.

#### 1.05 PRODUCT HANDLING

- 1. Protection:



2. Store all materials in such a manner as to ensure proper ventilation and drainage, and to protect against damage and the weather
3. Keep all materials clearly identified with all grade marks legible.
4. Do not allow installation of damaged or otherwise non-complying materials.
5. Use all means necessary to protect the installed work and materials of all other trades.
6. Replacements: In the event of damage, immediately make all repairs and replacements necessary to the approval of the Architect and at no additional cost.

#### 1.06 WOOD TREATMENT

Treat all rough lumber in accordance with Section 6C - Preservative Treated Lumber.

#### 1.07 GRADE STAMPS

##### A. Grading Rules:

1. Soft Woods: Standard Grading and dressing rules of West Coast's Lumberman Association, latest edition, and as modified hereinafter.
2. Hard Woods: Latest rules of the National Lumber Association.
3. Plywood: Group I Douglas Fir, U.S. Product Standard PS 1-74. Softwood, U.S. Commercial Standard CS35. Use Exterior Grade only.

##### B. Framing Lumber: Identify all framing lumber by the grade stamp of the West Coast Lumber Inspection Bureau.

##### C. Plywood: Identify all plywood as to species, grade and glue type by the stamp of the American Plywood Association.

##### D. Other: Identify all other materials of this Section by the appropriate stamp of the agency listed in the reference standards, or by such other means as are approved by the Engineer.

#### 1.08 MATERIALS

- A. Asbestos Prohibition: No asbestos containing material or equipment shall be used under this section. The Contractor shall ensure that all materials and equipment incorporated in the project are asbestos free.
- B. All materials, unless otherwise specifically approved in advance by the Architect, shall meet or exceed the following:



<u>Item</u>	<u>Description</u>
Studs	Douglas Fir, S4S Construction Grade.
Beams 2" to 4" thick, 6" and wider	Douglas Fir, S4S Dense No. 1 Grade or better.
Posts	Douglas Fir, S4S No 1 Grade.
Plywood	APA Plywood, Group I, Structural Grade I, C-D INT-APA, Exterior Glue, thickness as indicated.
Glue	3M Scotch Grip 4314 or approved equal,
Steel Hardware	ASTM A7 or A36 (hot-dipped galvanized according to ASTM A153).
Machine Bolts	ASTM A307 (galvanized).
Lag Bolts	Federal Specification FF-B-561 (galvanized).
Nails	Common (except as noted), Federal Specification FF-N-1-1 (galvanized).
Simpson Strong-Tie Connectors	Galvanized.

#### 1.09 OTHER MATERIALS

All other material, not specifically described but required for a complete and proper installation as indicated on the drawings, shall be new, suitable for intended use, and subject to the approval of the Architect.

#### 1.10 INSPECTION

Examine the areas and condition under which work of this Section will be performed. Correct conditions detrimental to the proper and timely completion of the work. Do not proceed until unsatisfactory condition have been corrected.

#### 1.11 WORKMANSHIP

A. General: All rough carpentry shall produce joints true, tight, and well nailed, with all members assembled in accordance with the drawings and with all pertinent codes and regulations.

B. Selection of Lumber Pieces:

1. Carefully select all members. Select individual pieces so that knots



and obvious defects will not interfere with placing bolts or proper nailing.

2. Cut out and discard all defects that will render a piece unable to serve its intended function. Lumber may be rejected by the Architect, whether or not it has been installed, for excessive warp, twist, bow, crook, mildew, fungus, or mold, as well as for improper cutting and fitting.

#### 1.12 GENERAL FRAMING

##### A. General:

1. In addition to all framing operations normal to fabrication and erection indicated on the drawings, install all backing required for work of other trades.

##### B. Bearings:

1. Make all bearings full unless otherwise indicated on the drawings.

#### 1.13 ALIGNMENT

On all framing members to receive a finished wall, align the finish subsurface to vary not more than 1/8" from the plane of surfaces of adjacent framing and furring members.

- A. Bolting: Drill holes 1/16" larger in diameter than the bolts being used. Drill straight and true from one side only. Bolt threads shall not bear on wood. Use washers under head and nut where both bear on wood; use washers under all nuts.
- B. Screws: For lag screws and wood screws, pre-bore holes same diameter as root of thread; enlarge holes to shank diameter for length of shank. Screw, do not drive, all lag screws and wood screws.

#### 1.14 ROUGH HARDWARE

- A. Provide all rough hardware necessary as required for installation of the work specified herein. Use sufficient size and number of spikes, nails, screws, bolts, etc., to ensure rigidity, security, and permanence.
- B. Conform to Section 5 of the "Timber Construction Manual", Second Edition, of the American Institute of Timber Construction. Pre-bore lead holes for nails if necessary to prevent splitting of wood. Lead hole diameters for lag bolts, screws, nails and spikes shall conform to Tables 5.10, 5.14 and 5.19 of the "Timber Construction Manual". Nails and splices shall not be lubricated. Screws and lag bolts shall be turned, not driven, and may be lubricated with soap.
- C. Nailing shall conform with the following, listed in order of decreasing priority:



details: recommendations of manufacturer of pre-fabricated metal framing devices: nailing schedule shown in drawings, if any: nailing schedule of the Building Code.

#### 1.15 WOOD GROUNDS

Provide wood grounds, strips, backing and blocking of thickness and shape required to secure work or equipment in place, as indicated on the drawings or required to secure work or equipment in place, as indicated on the drawings or required by conditions. Fasten wood grounds, furring and other engaging woodwork to various types of wall with approved types and sizes of nails, ties, or inserts, spaced to provide rigid secure support.

#### 1.16 WOOD NAILERS/BACKING

- A. Place as designated on drawings or specified in other sections required as the work progresses. Align tops to levels required.
- B. Provide backing as necessary for toilet partitions, toilet room accessories, clocks, etc.

#### 1.17 CUT AND PENETRATIONS

Whenever it is necessary to end cut or penetrate into treated wood on the job, all such cuts and penetrations shall be treated as specified in Section 6C - Preservative Treated Lumber.

#### 1.18 CLEAN-UP

- A. General: Keep the premises in a neat, safe and orderly condition at all times during execution of this portion of the work, free from accumulation of sawdust, cut ends and debris.
- B. Sweeping: At the end of each working day, and more often if necessary, thoroughly sweep all surfaces where refuse from this portion of the work has settled. Remove the refuse to the area of the job site set aside for its storage. Upon completion of this portion of the work, thoroughly broom clean all surfaces.

END OF SECTION



## SECTION 06200-FINISH CARPENTRY

### PART 1- GENERAL

#### 1.01 GENERAL REQUIREMENTS

- A. Division One, "General Requirements" is hereby made a part of this section.

#### 1.02 SUBMITTALS

- A. Shop Drawings: Submit shop drawings to scale indicating all details for finished millwork carpentry.
- B. Samples: Submit samples of materials and color for approval and selection by the Architect.

#### 1.03 GUARANTEES AND CERTIFICATES

- A. Provide certificate showing compliance with Section 6C - Preservative Treated Lumber.
- B. Provide one (1) Year Guarantee against defective finished carpentry materials and workmanship for all individual products or assemblies or products shown on the drawings and specified herein.

#### 1.04 FINISH HARDWARE

Furnishing of finish hardware is covered under the Section 8A - Finish Hardware. Installation shall be included in this section.

#### 1.05 MATERIALS

- A. Asbestos Prohibition: No asbestos containing material or equipment shall be used under this section. The Contractor shall ensure that all materials and equipment incorporated in the project are asbestos free.
- B. Hardboard: Standard, natural finish, conforming to Federal Specification LLL-H-35.
- C. Rough Hardware: Furnish and install all rough hardware, such as nails, screws, bolts, nuts and washers, ramset pins and studs, expansion shields, etc., required to complete the work. Exposed nail heads shall be set in where wood is to be painted, but not stained. All nuts, bolts and washers called for on the drawings shall be galvanized.



1.06 WORKMANSHIP

Erect all work accurately to required lines, level, plumb, to true planes and rigidly secure.

1.07 TRIM

Eased edges and mitered corner joints. Hand sand to provide smooth, fine, splinter-free surface ready for finishing.

1.08 PROTECTION OF WORK IN PLACE

Protect finish millwork from being defaced or marred by workmen during execution of other trades. Replace any damaged work with new work.

1.09 BACK PRIMING

All frames and trim shall be back-painted at the jobsite. Notify painter when materials are ready to prime and cooperate to be certain that back painting is complete before installation.

1.10 INSTALLATION OF ITEMS SPECIFIED IN OTHER SECTIONS

- A. Finish Hardware: Install items specified in Section 08700 - Finish Hardware. Finish hardware to be installed in accordance with best standard practice. Adjust moving parts to operate freely and easily without binding. All hardware shall be in perfect working order and keys tagged on delivery to Architect.
- B. Metal Frames: Install items specified in Section 08110 – Metal Frames.
- C. Toilet Accessories: Install items specified in Section 10800 – Toilet Room Accessories.
- D. Solid Surface Panels and Trim: Install items specified in Section 06650 – Solid Surfacing.

1.11 CLEANUP

At the completion of the work, at frequent intervals during the construction, and when directed by the Engineer, remove from the premises all rubbish, debris and unused materials which may be accumulated during the progress of the work.

END OF SECTION



## SECTION 06300-PRESERVATIVE TREATED LUMBER

### PART 1- GENERAL

#### 1.01 GENERAL REQUIREMENTS

- A. Division One, "General Requirements" is hereby made a part of this section.

#### 1.02 SPECIFIC REQUIREMENTS

- A. A Certificate of Treatment shall be issued showing compliance with these specifications and type of treatment performed.
- B. The Contractor shall submit a written certification that all wood used and left in place on this job was treated in accordance with these specifications and that all cuts and penetrations made subsequent to the treatment were coated with preservatives in compliance with Paragraph 6(a) of this Section.

#### 1.03 GENERAL

- A. All wood to be treated with Hi-Bor (SBX).
- B. Lumber shall be milled to finish size and shape prior to treating, and it shall be treated before assembly.

#### 1.04 MATERIALS

- A. Asbestos Prohibition: No asbestos containing material or equipment shall be used under this section. The Contractor shall ensure that all material and equipment incorporated in the project are asbestos-free.
- B. Water-Borne Preservatives shall be Hi Bor (SBX) in accordance with American Wood Preservers Association (AWPA) Standard P5 – Standards for Waterborne Preservatives. Preservatives shall be EPA registered.
- C. Water-Borne Preservatives used to coat end cuts and penetrations in Hi-Bor (SBX) treated wood shall be Clear-Bor F.T. or an equivalent solution of 10% inorganic boron. The end coating solution must be approved and labeled by the Environmental Protection Agency and must be accepted by the State of Hawaii, Department of Agricultural Pesticide Division for this purpose. The treatment solution shall have a colorant added which will tint the wood surface to indicate treatment.

#### 1.05 WOOD PRESERVATION WITH WATER-BORNE PRESERVATIVES

- A. Unless otherwise stipulated, all lumber shall be pressure treated.
- B. Lumber and shall be treated with Hi Bor (SBX), using the full cell pressure method in conformance with AWPA Standard C1-93. Lumber and treated



with Hi-Bor (SBX) shall attain the following penetration and retention requirements:

1. Lumber:

- a. Penetration requirement for lumber under 5-inch nominal thickness: 0.40 inch in heartwood and 100% in sapwood.
- b. Penetration requirement for lumber 5-inch nominal thickness and over: 0.50 inch in heartwood and 100% in sapwood.
- c. Retention requirement for lumber shall be a minimum of 1.25 % (by weight) or 0.35 pounds per cu. ft. in an assay zone of 0.0 - 0.6 inches.

1.06 INSTALLATION

- A. Wherever it is necessary to end cut or penetrate into (such as by drilling or notching) treated wood on the job, all such cuts and penetrations shall be treated in accordance with AWPAs Standard M4-84 using two heavy brush coats of a treating solution noted in the following schedule. Exceptions: Cuts and penetrations made in Hi-Bor (SBX) treated wood 2 inches or less in nominal thickness need not be field treated.

INITIAL WOOD TREATMENT

FIELD TREATMENT

Hi-Bor (SBX)

Clear-Bor F.T.

- B. Hi-Bor (SBX) treated wood shall not be used in areas exposed to direct precipitation (e.g. exposed decking, trellises, fencing, etc.) unless painted or covered with a finishing material.

END OF SECTION



## SECTION 06650-SOLID SURFACING

### PART 1- GENERAL

#### 1.01 GENERAL REQUIREMENTS

Division One, "General Requirements" is hereby made a part of this section.

#### 1.02 SCOPE

This section includes everything necessary for and incidental to the execution and installation of solid surfacing at Toilet and Shower room wall wainscots where indicated on plan.

#### 1.03 DEFINITION

Solid surface is defined as nonporous, homogeneous material maintaining the same composition throughout.

#### 1.04 SUBMITTALS

A. Shop drawings:

1. Show location of each item, dimensioned plans and elevations, large-scale details, attachment devices and other components.
2. Show details, edge details, attachments, etc.
3. Show locations and sizes of furring, blocking, including concealed blocking and reinforcement specified in other Sections.
4. Show locations and sizes of cutouts and holes installed in solid surface.

B. Samples: Submit minimum 6-inch by 6-inch sample in specified finish.

C. Product data: Indicate product description, fabrication information and compliance with specified performance requirements.

#### 1.05 QUALITY ASSURANCE

A. Qualifications: Shop that employs skilled workers who custom fabricate products similar to those required for this project and whose products have a record of successful in-service performance.

B. Fabricator/installer qualifications: Work of this section shall be by a certified fabricator/installer, certified in writing by the manufacturer.



C. Applicable standards:

1. American National Standards Institute (ANSI)
2. American Society for Testing and Materials (ASTM)
3. National Electrical Manufacturers Association (NEMA)
4. NSF International

D. Fire test response characteristics:

1. Provide with the following Class A (Class I) surface burning characteristics as determined by testing identical products per UL 723 (ASTM E84) or another testing and inspecting agency acceptable to authorities having jurisdiction:
  - a. Flame Spread Index: 25 or less.
  - b. Smoke Developed Index: 450 or less.

1.06 DELIVERY, STORAGE AND HANDLING

- A. Deliver no components to project site until areas are ready for installation.
- B. Store components indoors prior to installation.
- C. Handle materials to prevent damage to finished surfaces. Provide protective coverings to prevent physical damage or staining following installation for duration of project.

1.07 WARRANTY

- A. Provide manufacturer's warranty against defects in materials.
  1. Warranty shall provide material and labor to repair or replace defective materials.
  2. Damage caused by physical or chemical abuse or damage from excessive heat will not be warranted.

1.08 MAINTENANCE

Provide maintenance requirements as specified by the manufacturer.

1.09 MATERIALS

- A. Solid polymer components:
  1. Cast, nonporous, filled polymer, not coated, laminated or of composite construction with through body colors meeting ANSI Z124.3 or ANSI Z124.6, having minimum physical and performance properties specified.



2. Superficial damage to a depth of 0.010 inch (.25 mm) shall be repairable by sanding and/or polishing.
- B. Wall Panel and Trim: ½" thick solid surfacing as manufactured by Wilsonart. Color: Dusk Ice 9203CE. Size of sheet to be as required to perform work indicated on plans.
- C. Finish: Factory-provided matte finish, approximating 220 grit sandpaper.

#### 1.10 EXECUTION

- A. Fabricate solid surface wall panels and trim as shown in drawings.
- B. Trim Detail: Sloped cap piece to cover top of existing tile and new solid surface wall panel as shown in drawings.
- C. Installation shall be by installers trained and certified in the use of Wilsonart solid surfacing.

#### 1.11 INSTALLATION

- A. Install components plumb, level and rigid, scribed to adjacent finishes, in accordance with approved shop drawings and product data.
  1. Provide product in the largest pieces available.
  2. Form field joints using manufacturer's recommended adhesive, with joints inconspicuous in finished work.
  3. Exposed joints/seams shall not be allowed.
  4. Reinforce field joints with solid surface strips extending a minimum of 1 inch on either side of the seam with the strip being the same thickness as the top.
  5. Cut and finish component edges with clean, sharp returns.
  6. Rout radii and contours to template.
  7. Anchor securely to base cabinets or other supports.
  8. Carefully dress joints smooth, remove surface scratches and clean entire surface.
  9. Adhere new solid surface wall panel to existing tile using manufacturer's recommended high-grip adhesive and following manufacturer's wet wall installation guide.
  10. Cut openings for existing plumbing fixtures to fit as closely as possible and seal around plumbing.



1.12 COORDINATION

Coordinate with other trades in placement and installation of solid surfacing material.

1.13 REPAIR

Repair or replace damaged work which cannot be repaired to architect's satisfaction.

1.14 CLEANING AND PROTECTION

- A. Keep components clean during installation.
- B. Remove adhesives, sealants and other stains.

END OF SECTION



## SECTION 07130 – WATERPROOF MEMBRANE

### PART 1 – GENERAL

#### 1.01 SCOPE

Provide waterproof membrane “system” by Laticrete (25 year warranty) below sheet vinyl floor and integral sheet vinyl base at Toilet Rooms.

#### 1.02 MATERIAL

- A. Concrete Slab Leveler: Laticrete 86 Latilevel cementitious leveling mortar.
- B. Waterproof/Anti Fracture membrane: Laticrete Hydro Ban.
- C. Thinset: Laticrete 254 Platinum polymer-fortified thin set.
- D. Grout: Laticrete SpectraLOCK PRO epoxy grout.
- E. Sealant at Joints: Laticrete Latasil 100% silicone sealant, color matched to epoxy grout.

#### 1.03 SURFACE PREPARATION

All concrete must be dry and free of sharp protrusions and voids, loose stones, dust and any other foreign matter.

#### 1.04 INSTALLATION

- A. Install waterproof membrane “system” below sheet vinyl flooring, floor tile and wall tile as recommended by the waterproofing manufacturer and as shown on drawings.
- B. Wrap waterproof membrane up perimeter walls a minimum of 6”. Refer to details for wall tile or solid surface wall panel installation.
- C. Due to the odors generated by the waterproof membrane system, Contractor shall use caution when installing so as not to affect occupied patient floors. Provide means of ventilating area where waterproof membrane is to be applied.

END OF SECTION



## SECTION 07900 – SEALANT AND CAULKING

### PART 1 – GENERAL

- 1.01 GENERAL REQUIREMENTS: Furnish all labor, materials, tools and equipment necessary to complete all removal work and surface preparation work as specified herein.

1.02 GENERAL PROVISIONS

Except as otherwise indicated, sealants shall be provided to establish and maintain airtight, and weatherproof continuous seals on a permanent basis within recognized limitations of wear and aging for each application and type of sealant material. Provide at all joint locations where weather penetration is possible, where a weather-tight installation is required, and where indicated or required to finish the installation of two or more adjoining materials.

Throughout the Work, caulk and seal all joints where shown on the drawings and elsewhere as required to provide a positive barrier against passage of air and passage of moisture.

1.03 SUBMITTALS

- A. Certificates of Compliance: Submit certificates from the manufacturers attesting that materials meet the specified requirements.
- B. Manufacturers' Descriptive Data: Submit complete descriptive data for each type of material. Clearly mark data to indicate the type the Contractor intends to provide. Data shall state conformance to specified requirements. Data for sealant and caulking shall include application instructions, shelf life, mixing instructions for multicomponent sealants, and recommended cleaning solvents.
- C. Colors: Submit one sample of each color for each sealant and caulking type to verify that products match the adjacent finish colors. Where colors are not indicated, submit not less than 6 different samples of manufacturers' standard colors for selection.
- D. Qualifications of Manufacturers: Products used in the work of this section shall be produced by manufacturers regularly engaged in manufacture of similar items and with a history of successful production.

1.04 DELIVERY AND STORAGE

Deliver materials to the job site in the manufacturers' external shipping containers, unopened, with brand names, date of manufacture, color, and material designation clearly marked thereon. Containers of elastomeric sealant shall be labeled as to type, class, grade, and use. Carefully handle and store all materials to prevent inclusion of foreign materials.



Replacements: In the event of damage, immediately make all repairs and replacements necessary at no additional cost.

#### 1.05 WARRANTY

The Contractor shall execute to the HHSC a 2-year written warranty after the Project Acceptance Date that the installation will be watertight and that any leaks which develop during that period which are not due to improper use or willful damage will be repaired at no cost to the HHSC. The guaranty shall provide the following at no cost to the HHSC:

- a. Repair of sealants as necessary to seal leaks which are attributable to faulty materials and/or workmanship.
- b. Repair or replacement of damage to the building and/or its finishes, equipment and/or furniture when occasioned by such leaks.

#### 1.06 JOB CONDITIONS

Do not proceed with installation of sealants when temperatures are below or above manufacturer's recommended temperature range for installation. Where joint width is affected by ambient temperature variations, install elastomeric sealants only when temperature are in lower third of the manufacturer's recommended installation temperature range, so that sealant will not be subjected to excessive elongation and bond stress at subsequent low temperatures. Coordinate time schedule with Contractor to avoid delay of project

### PART 2 – PRODUCTS

#### 2.01 MATERIALS

Products shall conform to the reference documents listed for each use. Color of sealant and calking shall match adjacent surface color unless specified otherwise. For ASTM C 920 sealants, use a sealant that has been tested on the type(s) of substrate to which it will be applied.

- A. Interior Sealants: ASTM C 920, Type S or M, Grade NS, Class 12.5, Use NT. For use to seal general building construction joints, windows, doors, etc.
- B. Exterior Sealants: For joints in vertical surfaces, provide ASTM C 290, Type S or M, Grade NS, Class 25, Use NT. For joints in horizontal surfaces, provide ASTM C 920, Type S or M, Grade P, Class 25, Use T. For use to seal general building construction joints, windows, doors, etc.
- C. Floor Joint Sealant: ASTM C 920, Type S or M, Grade P, Class 25, Use T. Color of sealant shall be as selected.



- D. Sanitary Sealant: ASTM C920, Type S, Grade NS, Class 25, Use NT, G and A. For use around plumbing fixtures and areas of high moisture. Single component acetoxysilicone sealant.
- E. Primer for Sealants: Provide non-staining, quick-drying type and consistency recommended by the sealant manufacturer for the particular application.
- F. Bond Breakers: Provide type and consistency recommended by the sealant manufacturer for the particular application.
- G. Backstops: Provide glass fiber roving or neoprene, butyl, polyurethane, or polyethylene foams free from oil or other staining elements as recommended by the sealant manufacturer. Backstop material shall be compatible with the sealant. Do not use oakum and other types of absorptive materials as backstops.
- H. Cleaning Solvents: Provide types recommended by the sealant manufacturer.
- I. Asbestos Prohibition: No asbestos containing material or equipment shall be used under this section. The Contractor shall ensure that all materials and equipment incorporated in the project are asbestos free.
- J. General: Except as specifically otherwise directed, use only the type of sealants described in this Section.
- K. Acrylic-Emulsion Sealant:
  - 1. Acrylic-emulsion or latex-rubber-modified acrylic-emulsion sealant compound; permanently flexible, non-staining and non-bleeding; recommended by manufacturer for protected exterior exposure and general interior exposure.
  - 2. Provide one of the following products:  
  
Dap Acrylic Latex Caulk; Dap, Inc.  
Acrylic Latex Caulk; Tremco, Inc.
- L. Colors:
  - 1. Colors for each sealant installation will be selected by the Architect from standard colors normally available from the specified manufacturers.
  - 2. In concealed installations, and in partially or fully exposed installations, standard gray or black sealant may be used.

## 2.02 MASKING TAPE

Use masking tape around joints. provide masking tape conforming to Fed. Spec. UU-T-106c.



## 2.03 OTHER MATERIAL

All other materials, not specifically described but required for complete and proper installation of sealants, shall be first quality of their respective kinds. new and as selected by the Contractor.

## PART 3 – EXECUTION

### 3.01 INSPECTION

Examine the areas and conditions under which work of this section will be performed. Correct conditions detrimental to the proper and timely completion of the work. Do not proceed until unsatisfactory conditions have been corrected.

### 3.02 SURFACE PREPARATION

Surfaces shall be clean, dry to the touch, and free from moisture, grease, oil, wax, lacquer, paint, or other foreign matter that would tend to destroy or impair adhesion. Where adequate grooves have not been provided, clean out grooves to a depth of ½ inch without damage to the adjoining work. No grinding shall be required on metal surfaces.

### 3.03 SEALANT PREPARATION

Do not modify the sealant by addition of liquids, solvents, or powders. Mix multicomponent elastomeric sealants in accordance with manufacturer's printed instructions.

### 3.03 APPLICATION

- A. Elastomeric Sealant Installation Standard: Comply with the requirements of ASTM C 962 for the use of joint sealants as applicable to the materials, applications, and conditions required.
- B. Backstops: Install backstops dry and free from tears or holes. Tightly pack the back or bottom of joint cavities with backstop materials to provide a joint of the depth as recommended by the sealant manufacturer.
- C. Primer: Immediately prior to application of the sealant, clean out all loose particles from joints. Where recommended by sealant manufacturer, apply primer to joints in concrete masonry units, wood, and other porous surfaces in accordance with compound manufacturer's instructions. Do not apply primer to exposed finish surfaces.
- D. Bond Breaker: Provide bond breakers to the back or bottom of joint cavities, as recommended by the sealant manufacturer for each type of joint and sealant used to prevent sealant from adhering to these surfaces.



Carefully apply the bond breaker to avoid contamination of adjoining surfaces or breaking bond with surfaces other than those covered by the bond breaker.

- E. Sealants: Provide sealant compatible with the material to which it is applied. Do not use a compound that has exceeded its shelf life or has become too gelled to be discharged in a continuous flow from the gun. Apply the compound in accordance with the manufacturer's instructions with a gun having a nozzle that fits the joint width. Force sealant into joints to fill the joints solidly without pockets. Sealants shall be uniformly smooth and free from wrinkles. Upon completion of sealant application, roughen partially filled or unfilled joints, apply sealant, and tool smooth as specified.
- a. General: Prior to start of installation in each joint, verify the joint type according to the details in the drawings and verify that the required proportion of width of joint to depth of joint has been secured. Apply primer to all surfaces as recommended by the manufacturer.
  - b. Equipment: Apply sealant under pressure with hand or power-actuated gun or other appropriate means. Guns shall have nozzle of proper size and shall provide sufficient pressure to completely fill joints as designed.
  - c. Masking: Thoroughly and completely mask all joints where the appearance of sealant on adjacent surfaces would be objectionable.
  - d. Installation of Sealant: Install the sealant in strict accordance with the manufacturer's recommendations, thoroughly filling all joints to the recommended depth.
  - e. Tooling: Tool all joints to the profile shown on the details in the drawings.
  - f. Cleaning Up:
    - 1. Remove masking tape immediately after joints have been tooled.
    - 2. Clean adjacent surfaces free from sealant as the installation progresses. Use solvent or cleaning agent as recommended by the sealant manufacturer.
    - 3. No cleaning of tools or equipment will be permitted within building wash areas.
- F. Concrete and Masonry Surfaces:
- 1. All surfaces in contact with sealant shall be dry, sound and well brushed and wiped free from dirt.



2. Use appropriate solvents to remove oil and grease, wiping the surfaces with clean rags.
3. Where surfaces have been treated, remove the surface treatment by use of sandblasting or wire brushing.
4. Remove all laitance and mortar from the joint cavity.
5. Where backstop is required, insert the approved backup material in the joint cavity to the depth required.

G. Metal Surfaces such as Door Frames:

1. All surfaces in contact with sealant shall be dry, sound and well brushed and wiped free from dirt.
2. Use appropriate solvents to remove oil and grease, wiping the surfaces with clean rags.
3. Use as recommended by the manufacturer.

H. Wood Surfaces:

1. Wood surfaces in contact with sealant shall be cleaned of temporary protective coatings, dirt, oil and grease.
2. When masking tape is used for a protective cover, remove the tape just prior to applying the sealant.
3. Use as recommended by the manufacturer.

### 3.04 PROTECTION AND CLEANING

- A. Protection: Protect areas adjacent to joints from compound smears. Masking tape may be used for this purpose if removed 5 to 10 minutes after the joint is filled.
- B. Cleaning: Immediately scrape off fresh compound that has been smeared on masonry and rub clean with a solvent as recommended by the compound manufacturer. Upon completion of compound application, remove all remaining smears and stains resulting therefrom and leave the work in a clean and neat condition.

END OF SECTION



## SECTION 08110 – METAL FRAMES

### PART 1 – GENERAL

1.01 GENERAL REQUIREMENTS: Furnish all labor, materials, tools and equipment necessary to complete all removal work and surface preparation work as specified herein.

### 1.02 SCOPE OF WORK

- A. This section includes everything necessary for and incidental to the execution and completion of metal frame work as shown on the drawings and specified herein.

### 1.03 RELATED WORK IN OTHER SECTIONS

- A. SECTION 08700 FINISH HARDWARE
- B. SECTION 08210 WOOD DOORS

### 1.04 MATERIALS

#### A. Metal Frames

- 1. Gauge: Minimum 16 U.S. standard gauge.
  - a. Metal Door Frames: Supply “KD” knocked-down type frames.
- 2. Finish: Factory finished prime coat.
- 3. Frame Fastening: Provide anchors 6” from head to sill and not over 2’ - 0” o.c. equally spaced or as recommended by hollow metal frame manufacturer. To stud wall construction: wire well to studs as recommended by hollow metal frame manufacturer.
- 4. Hardware Reinforcement: Provide suitable sinkages for mortise or to stiffen sheet metal against the required surface strain. Provide 3/16-inch continuous hinge reinforcement and 12 gauge channel head reinforcing. All other reinforcing to be minimum thickness of 14 gauge.

### 1.05 WORKMANSHIP

- A. General: Finished work must be strong, rigid, and neat in appearance, and comply with the following requirements:
  - 1. Surfaces: Smooth, free from defects, warps and buckles.



2. Mitters: Well formed, in true alignment.
3. Welds: Neatly made, ground flush.
4. Fastenings: Concealed when practical. When exposed, use countersunk oval head screws.
5. Labels: Not applicable.

#### 1.06 SHOP DRAWINGS AND SAMPLES

Drawings to show elevations, sizes, hardware locations and construction of all metal doors and metal frames. Frames shall be identified and correlated with types as indicated on the drawings.

END OF SECTION



## SECTION 08700 – FINISH HARDWARE

### PART 1 - GENERAL

1.01 GENERAL REQUIREMENTS: Furnish all labor, materials, tools and equipment necessary to complete all removal work and surface preparation work as specified herein.

### 1.02 SCOPE OF WORK

- A. The work included in this section of the specifications shall provide for the furnishing and delivering of all finish hardware required for all carpentry, etc. complete as shown on plans.
- B. The hardware list specified hereinafter has been made for the convenience of the Contractor and covers in general the necessary hardware for work shown on the plans.

### 1.03 MATERIALS

- A. Asbestos Prohibition: No asbestos containing material or equipment shall be used under this section. The Contractor shall ensure that all materials and equipment incorporated in the project are asbestos free.
- B. Finish: Except as otherwise indicated, finish of hardware throughout shall be satin chromium plated US26D. Butts shall be provided with a satin chromium plated finish US26D. Door closers and hold open devices shall be furnished with a silver enameled finish to match hardware.
- C. Hardware Delivery: Examine the plans, specifications and details in order to check all items. Hardware shall be separately unit packed, labeled and numbered, so that they can be checked with the hardware list.

### 1.04 KEYING

- A. All locks to be keyed to Maluhia's Sargent Master System.
- B. Provide lockets with interchangeable cores.
- C. Provide 4 cut keys (2 original and 2 copies) for each lock.
- D. The suppliers shall deliver the keys directly to Mr. Mike Liborio, Building Maintenance Supervisor, in separate envelopes, sealed and identified by lock and location.



## 1.05 GENERAL CHARACTER

All hardware shall be of the best quality in construction design and finish, free of defects. Any defective piece shall be replaced by the Contractor at his own expense.

## 1.06 FASTENING

Furnish necessary screws, bolts and other fastenings for proper application of hardware. Fastenings shall be of a suitable size and type to securely install hardware from heavy use. Fastenings must harmonize with the hardware as to material and finish.

## 1.07 HARDWARE SCHEDULE

Quality, function, design and finish are specified herein. Match numbers indicated in hardware column of the door schedule with hardware sets listed below.

### HW-1: Single Door D/1 to Physical Therapy Toilet Room

1-1/2 prs.	Hinges	5BB1HW 4.5 x 4.5	26D	Ives
1	Latchset	49-8265/LNL	26D	Sargent
1	Closer	1461 DEL *	AL	LCN
1	Wall Bumper	WS406/407CVX	32D	Ives
3	Door Silencers	SR64	Gray	Ives

### HW-2: Single Door D/2 to Physical Therapy Room

2 prs .	Hinges	5BB1HW 4.5 x 4.5	26D	Ives
1	Lockset	8237/LNL	26D	Sargent
1	Overhead Stop	1544F *	26D	LCN
3	Door Silencers	SR64	Gray	Ives

### HW-3: Single Door D/3 from 2<sup>nd</sup> Floor Closet

1-1/2 prs.	Hinges	5BB1HW 4.5 x 4.5	26D	Ives
1	Lockset	8206/LNL	26D	Sargent
1	Overhead Stop	1544F **	26D	LCN
3	Door Silencers	SR64	Gray	Ives

### HW-4: Single Door D/4 to 2<sup>nd</sup> Floor Day Room Toilet

1-1/2 prs.	Hinges	5BB1HW 4.5 x 4.5	26D	Ives
1	Latchset	49-8265/LNL	26D	Sargent
1	Closer	1461 DEL *	AL	LCN
1	Wall Bumper	WS406/407CVX	26D	Ives
3	Door Silencers	SR64	Gray	Ives

### HW-5: Single Door D/5 from 3<sup>rd</sup> Floor Closet

1-1/2 prs.	Hinges	5BB1HW 4.5 x 4.5	26D	Ives
1	Lockset	8206/LNL	26D	Sargent
1	Overhead Stop	1544F **	26D	LCN
3	Door Silencers	SR64	Gray	Ives



HW-6: Single Door D/6 to 3<sup>rd</sup> Floor Day Room Toilet

1-1/2 prs.	Hinges	5BB1HW 4.5 x 4.5	26D	Ives
1	Latchset	49-8265/LNL	26D	Sargent
1	Closer	1461 DEL *	AL	LCN
1	Wall Bumper	WS406/407CVX	26D	Ives
3	Door Silencers	SR64	Gray	Ives

HW-7: Single Door D/7 from Physical Therapy Toilet Closet

1-1/2 prs.	Hinges	5BB1HW 4.5 x 4.5	26D	Ives
1	Lockset	8206/LNL	26D	Sargent
1	Overhead Stop	1544F **	26D	LCN
3	Door Silencers	SR64	Gray	Ives

\* Provide with Hold-Open Feature. Mount on pull side of door.

\*\* Mount on push side of door.

1.08 SCHEDULE

Furnish copies of Schedule of Hardware in compliance with specifications and drawings. List each opening and hardware to be applied. State, material, finish and manufacturer's number for each item.

1.09 FINISH HARDWARE

The Contractor shall carefully adjust all new hardware to perfect working order, to the satisfaction of the Architect. Any defective, damaged and/or missing parts shall be replaced by the Contractor at his own expense.

END OF SECTION



## SECTION 09250 – GYPSUM WALLBOARD

### PART 1 - GENERAL

#### 1.01 SCOPE

Install gypsum wall board partitions shown on drawings and herein specified.

#### 1.02 DELIVERY, STORAGE AND HANDLING

- A. Deliver materials to the jobsite with manufacturer's labels intact, including testing agency label and fire classification numbers for fire rated materials.
- B. Store materials under cover, completely protected from moisture. Stack materials flat and off the floor or ground.
- C. Handle materials with care to prevent damage.

#### 1.03 MATERIALS

- A. Hazardous Material Prohibition: No hazardous materials or equipment shall be used under this section. The Contractor shall ensure that all materials and equipment incorporated in the project are non-hazardous.
- B. Gypsum board: 5/8", type "X", gypsum wallboard with tapered edges, ToughRock Mold-Guard by Georgia Pacific or approved equal at all areas except as noted.
- C. WR (Water-resistant) Gypsum Board: 5/8", type "X", ProRoc by CertainTeed, moisture and mold resistant gypsum board or approved equal. Provide at all wet locations behind lavatories and counters with sinks. For locations with wall tile refer to Section 9H – Cement Wallboard.
- D. Studs: 20 gauge electro-galvanized steel in 7/8", 1-5/8", 2-1/2" and 3-5/8" widths with floor and ceiling tracks as shown on drawings.
- E. Taped Joint System: Standard perforated tape system, including corner reinforcement and recommended joint compound conforming to ASTM C475.
- F. Fasteners: Self-drilling, self-tapping 1-1/4" or length as required at wood or metal stud framing (Type W), buglehead drywall screws for power driving with special head design for gypsum attachment, producing surface depression for proper concealment. Use other fasteners as required.



- G. WR (Water-resistant) Sealer: W/R joint compound, mixed with 1/2 pint of water per quart of compound to obtain a paint-like viscosity.
- H. Caulking: Highly elastic acrylic caulking as manufactured by the plasterboard manufacturer.
- I. Gypsum Board Finish: Provide "Level 4" finish at all walls.
- J. Sound Attenuation Batts: 16"/406 mm wide, unfaced glass fiber batt insulation as manufactured by Owens-Corning. Sound Attenuation Batts to have the following characteristics:
  - 1. Thickness to be 3-1/2".
  - 2. Flame spread: 10.
  - 3. Smoke developed: 10.
  - 4. NRC: 1.00 minimum.
- K. Sound Sheeting: B-10NR by Sound Seal or Acoustiblok where noted on wall sections. Attach with screws. Be sure to not completely penetrate the sheet material. Seams are to be overlapped (1"-2"), caulked and taped. Caulk and tape as necessary around all cut-outs such as j-boxes, pipes, conduits, etc. where they penetrate sheet. Space all j-boxes so they are not back-to-back. Glue scraps of sheet material to the back of j-boxes. Caulk the edges and inside corners of sheet.

#### 1.04 INSTALLATION

- A. Shall be in strict accordance with manufacturer's instructions and as specified and/or indicated on drawings.
- B. Fasten gypsum board metal studs with screws spaced as per the manufacturer's instructions or as indicated by the wall system design number.
- C. Treat all joints, screw heads and other depressions in the surface of the wallboard in accordance with manufacturer's printed recommendations, with a taped joint system.
- D. Treat all internal angles formed by the intersection of wallboard with either wallboard or other wall surfaces with a taped joint system.
- E. Treat all vertical or horizontal external corners with metal bead corner reinforcement applied in accordance with manufacturer's directions.
- F. No painting over gypsum board work until taped joints are thoroughly dry
- G. Locate metal studs not more than 2" from all door jambs abutting partitions and partition corners.



- H. Where horizontal metal supports for fixtures are required, they shall be constructed using metal studs cut to length to fit between studs and notched so as to form legs at each end which shall be securely attached to the vertical studs by screws. Provisions for heavy fixture support shall be as detailed on the drawings.
- I. Arrange joints so that joints on opposite sides of wall occur on different studs.

END OF SECTION



## SECTION 09510 – ACOUSTICAL TILE

### PART 1 - GENERAL

#### 1.01 SCOPE

Install acoustic ceiling tile and grid where shown on drawings and herein specified.

#### 1.02 REFERENCES

- A. American Society for Testing and Materials (ASTM).
- B. ASTM C 423 Sound Absorption and Sound Absorption Coefficients by the Reverberation Room Method.
- C. ASTM E 84 Standard Test Method for Surface Burning Characteristics of Building Materials.
- D. ASTM E 1414 Standard Test Method for Airborne Sound Attenuation Between Rooms Sharing a Common Ceiling Plenum.
- E. ASTM E 1111 Standard Test Method for Measuring the Interzone Attenuation of Ceilings Systems.
- F. ASTM E 1264 Classification for Acoustical Ceiling Products.
- G. ASTM E 1477 Standard Test Method for Luminous Reflectance Factor of Acoustical Materials by Use of Integrating-Sphere Reflectometers.
- H. ASTM D 3273 Standard Test Method for Resistance to Growth of Mold on the Surface of Interior Coatings in an Environmental Chamber.
- I. ASTM E 119 Standard Test Methods for Fire Tests of Building Construction and Material.
- J. ASHRAE Standard 62.1-2004, "Ventilation for Acceptable Indoor Air Quality.

#### 1.03 SUBMITTALS

- A. Product Data: Submit manufacturer's technical data for acoustical ceiling unit.
- B. Samples: Minimum 6 inch x 6 inch samples of specified acoustical panel.
- C. Certifications: Manufacturer's certifications that products comply with specified requirements, including laboratory reports showing compliance with specified tests and standards. For acoustical performance, each carton of material must carry an approved independent laboratory classification of NRC, CAC, and AC.



- D. If the material supplied by the acoustical subcontractor does not have an Underwriter's Laboratory classification of acoustical performance on every carton, subcontractor shall be required to send material from every production run appearing on the job to an independent or NVLAP approved laboratory for testing, at the architect's discretion. All products not conforming to manufacturer's current published values must be removed, disposed of and replaced with complying product at the expense of the Contractor performing the work.

#### 1.04 QUALITY ASSURANCE

- A. Single-Source Responsibility: Provide acoustical panel units by a single manufacturer.
- B. Fire Performance Characteristics: Identify acoustical ceiling components with appropriate markings of applicable testing and inspecting organization.
- C. Surface Burning Characteristics: As follows, tested per ASTM E 84 and complying with ASTM E 1264 for Class A products.
  - 1. Flame Spread: 25 or less
  - 2. Smoke Developed: 50 or less
- D. Handle acoustical ceiling units carefully to avoid chipping edges or damaged units in any way.

#### 1.05 DELIVERY, STORAGE AND HANDLING

- A. Deliver acoustical ceiling units to project site in original, unopened packages and store them in a fully enclosed space where they will be protected against damage from moisture, direct sunlight, surface contamination, and other causes.
- B. Before installing acoustical ceiling units, permit them to reach room temperature and a stabilized moisture content.
- C. Handle acoustical ceiling units carefully to avoid chipping edges or damaged units in any way.

#### 1.06 PROJECT CONDITIONS

- A. Space Enclosure:
  - 1. All ceiling products must be installed and maintained in accordance with Armstrong written installation instructions for that product in effect at the time of installation and best industry practice. Prior to installation, the ceiling product must be kept clean and dry, in an environment that is between 32°F (0° C) and 120°F (49° C) and not subject to Abnormal



Conditions. Abnormal conditions include exposure to chemical fumes, vibrations, moisture from conditions such as building leaks or condensation, excessive humidity, or excessive dirt or dust buildup.

2. HumiGuard Plus Ceilings: Installation of the products shall be carried out where the temperature is between 32°F (0° C) and 120°F (49° C). It is not necessary for the area to be enclosed or for HVAC systems to be functioning. All wet work (plastering, concrete, etc) must be complete and dry. The ceilings must be maintained to avoid excessive dirt or dust buildup that would provide a medium for microbial growth on ceiling panels. Microbial protection does not extend beyond the treated surface as received from the factory, and does not protect other materials that contact the treated surface such as supported insulation materials.

#### 1.07 WARRANTY

- A. Acoustical Panel: Submit a written warranty executed by the manufacturer, agreeing to repair or replace acoustical panels that fail within the warranty period. Failures include, but are not limited to:
  1. Acoustical Panels: Sagging and warping as a result of defects in materials or factory workmanship.
  2. Acoustical Panels with BioBlock Plus or designated as inherently resistive to the growth of micro-organisms installed with Armstrong suspension systems: Visible sag and will resist the growth of mold/mildew and gram positive and gram negative odor and stain causing bacteria.
- B. Warranty Period Humiguard:
  1. Acoustical panels: Ten (10) years from date of substantial completion.
  2. Acoustical panels with HumiGuard Plus or HumiGuard Max performance supplied by one source manufacturer is thirty (30) years from date of substantial completion.
- C. The Warranty shall not deprive HHSC of other rights they may have under other provisions of the Contract Documents and will be in addition to and run concurrent with other warranties made by the Contractor under the requirements of the Contract Documents.

#### 1.08 MAINTENANCE

- A. Extra Materials: Deliver extra materials to HHSC. Furnish extra materials described below that match products installed. Packaged with protective covering for storage and identified with appropriate labels.
  1. Acoustical Ceiling Units: Furnish quality of full-size units equal to 5.0 percent of amount installed.



## 1.09 MATERIALS

- A. Hazardous Material Prohibition: No hazardous materials or equipment shall be used under this section. The Contractor shall ensure that all materials and equipment incorporated in the project are non-hazardous.
- B. 2 x 2 Acoustic Tile Ceiling:
  - 1. Surface Texture: Fine texture.
  - 2. Composition: Wet-formed mineral fiber with DuraBrite acoustically transparent membrane.
  - 3. Color: White (WH).
  - 4. Size: 24in x 24in x 7/8 in
  - 5. Edge Profile: Square Lay-in for 15/16" exposed tee grid.
  - 6. Noise Reduction Coefficient (NRC): ASTM C 423; Classified with UL label on product carton, 0.80.
  - 7. Ceiling Attenuation Class (CAC): ASTM C 1414; Classified with UL label on product carton, 35.
  - 8. Flame Spread: ASTM E 1264; Class A (UL)
  - 9. Light Reflectance (LR): ASTM E 1477; White Panel: Light Reflectance: 0.86.
  - 10. Dimensional Stability: HumiGuard Plus - temperatures up to 120 degrees F and high humidity excluding only exterior use, use over standing water, and direct contact with moisture.
  - 11. Mold/Mildew Inhibitor: The front and back of the product have been treated with BioBlock, a paint that contains a special biocide that inhibits or retards the growth of mold or mildew, ASTM D 3273.
  - 12. Product: Ultima Health Zone High NRC, #1445 as manufactured by Armstrong World Industries.
- C. Suspension System:
  - 1. Components: All main beams and cross tees shall be commercial quality hot-dipped galvanized steel as per ASTM A 653. Main beams and cross tees are double-web steel construction with type exposed flange design. Exposed surfaces chemically cleansed, capping pre-finished galvanized steel in baked polyester paint. Main beams and cross tees shall have rotary stitching.
  - 2. Structural Classification: ASTM C 635 Intermediate Duty.
  - 3. Color: White.
  - 4. Product: Prelude XL 15/16" Exposed Tee as manufactured by Armstrong World Industries, Inc.
  - 5. Attachment Devices: Size for five times design load indicated in ASTM C 635, Table 1, Direct Hung unless otherwise indicated.
  - 6. Wire for Hangers and Ties: ASTM A 641, Class 1 zinc coating, soft temper, pre-stretched, with a yield stress load of at least time three design load, but not less than 12 gauge.
  - 7. Edge Moldings and Trim: Metal or extruded aluminum of types and profiles indicated or, if not indicated, manufacturer's standard moldings for edges and penetrations, including light fixtures, that fit type of edge detail and suspension system indicated. Provide moldings with exposed flange of the same width as exposed runner.



#### 1.10 EXAMINATION

Do not proceed with installation until all wet work such as plastering and painting has been completed and thoroughly dried out, unless expressly permitted by manufacturer's printed recommendations. (Exception: HumiGuard Max Ceilings)

#### 1.11 PREPARATION

Coordinate panel layout with HVAC diffusers, registers, fire sprinkler, light fixtures, etc.

#### 1.12 INSTALLATION

Install acoustical panels in coordination with suspended system, with edges resting on flanges of main runner and cross tees. Cut and fit panels neatly against abutting surfaces. Support edges by wall moldings. Cut tiles as necessary to install items such as fire sprinkler heads, supply air grilles, return air registers, smoke detectors, etc.

#### 1.13 ADJUSTING AND CLEANING

- A. Replace damaged and broken panels.
- B. Clean exposed surfaces of acoustical ceilings. Comply with manufacturer's instructions for cleaning and touch up of minor finish damage. Remove and replace work that cannot be successfully cleaned and repaired to permanently eliminate evidence of damage.

END OF SECTION



## SECTION 09651 – SHEET VINYL FLOORING

### PART 1 - GENERAL

#### 1.01 SCOPE

Install sheet vinyl flooring and base shown on drawings and herein specified.

#### 1.02 MATERIALS

##### A. Sheet Vinyl and Base:

1. AHF Contract. Collection: Concepts of Landscape. Color: Finely Woven Gray #1HE2M419.
2. Provide camouflaged weld rod supplied by Mannington Commercial. and intended for heat welding of seams. Color shall be compatible with color of flooring.
3. Provide full spread V-95 or as recommended by the resilient flooring manufacturer for substrate condition

##### B. Base: Provide integral 6" high sheet vinyl base.

#### 1.03 INSPECTION

- A. Examine subfloors prior to installation to determine that surfaces are smooth and free from cracks, holes, ridges, and other defects that might prevent adhesive bond or impair durability or appearance of the flooring material.
- B. Inspect subfloors prior to installation to determine that surfaces are free from curing, sealing, parting and hardening compounds; residual adhesives; adhesive removers; and other foreign materials that might prevent adhesive bond. Visually inspect for evidence of moisture, alkaline salts, carbonation, dusting, mold, or mildew.
- C. Report conditions contrary to contract requirements that would prevent a proper installation. Do not proceed with the installation until unsatisfactory conditions have been corrected.
- D. Failure to call attention to defects or imperfections will be construed as acceptance and approval of the subfloor. Installation indicates acceptance of substrates with regard to conditions existing at the time of installation.



### 1.03 WORKMANSHIP

Applicators must be approved by the manufacturer of the materials used. Install finished materials after other Trades have completed their work. Apply all materials in strict accordance with the printed specification of the manufacturer. Seams must be straight and close fitting.

### 1.05 PREPARATION

- A. Smooth concrete surfaces, removing rough areas, projections, ridges, and bumps, and filling low spots, control or construction joints as recommended by the flooring manufacturer.
- B. Remove paint, varnish, oils, release agents, sealers, and waxes. Remove residual adhesives as recommended by the flooring manufacturer. Remove curing and hardening compounds not compatible with the adhesives used, as indicated by a bond test or by the compound manufacturer's recommendations for flooring. Avoid organic solvents.
- C. Perform Relative Humidity Test (In-Situ Probe Test) on concrete slab to receive sheet vinyl flooring per most current ASTM F2170 standards.
- D. Vacuum or broom-clean surfaces to be covered immediately before the application of flooring. Make subfloor free from dust, dirt, grease, and all foreign materials.

### 1.06 INSTALLATION OF SHEET FLOORING

- A. Install flooring as recommended by flooring manufacturer.
- B. Install flooring wall to wall before the installation of floor-set cabinets, casework, furniture, equipment, movable partitions, etc. Extend flooring into toe spaces, door recesses, closets, and similar openings as shown on the drawings.
- C. If required, install flooring on pan-type floor access covers. Maintain continuity of color and pattern within pieces of flooring installed on these covers. Adhere flooring to the subfloor around covers and to covers.
- D. Scribe, cut, and fit or flash cove to permanent fixtures, columns, walls, partitions, pipes, outlets, and built-in furniture and cabinets.
- E. Adhere flooring to the subfloor without cracks, voids, raising and puckering at the seams. Roll with a 100-pound (45.36 kilogram) roller in the field areas. Hand-roll flooring at the perimeter and the seams to assure adhesion. Refer to specific rolling instructions of the flooring manufacturer.



- F. Lay flooring to provide a minimum number of seams. Avoid cross seams, filler pieces, and strips. Match edges for color shading and pattern at the seams in compliance with the manufacturer's recommendations.
- G. Install flooring with adhesives, tools, and procedures in strict accordance with the manufacturer's written instructions. Observe the recommended adhesive trowel notching, open times, and working times.
- H. Prepare heat-welded seams with special routing tool supplied for this purpose and heat weld with vinyl welding rod in seams. Use methods and sequence of work in conformance with written instructions of the flooring manufacturer. Finish all seams flush and free from voids, recesses, and raised areas.
- I. Provide integral flash cove wall base as shown on the drawings, including cove fillet support strip and top metal edge cap trim. Construct flash cove base in accordance with the flooring manufacturer's instructions.

#### 1.07 INSTALLATION OF ACCESSORIES

- A. Apply top set wall base to walls, casework, and other permanent fixtures in areas where top-set base is required. Install base in lengths as long as practical, with inside corners fabricated from base materials that are mitered or coped. Tightly bond base to vertical substrate with continuous contact at horizontal and vertical surfaces.
- B. Fill voids with plastic filler along the top edge of the resilient wall base or integral cove cap on masonry surfaces or other similar irregular substrates.

#### 1.08 CLEANING AND PROTECTION

- A. Perform initial maintenance according to manufacturer's recommendations.
- B. Protect installed flooring as recommended by the flooring manufacturer against damage from rolling loads, other trades, or the placement of fixtures and furnishings.
- C. Remove adhesives from face of flooring and from work of other Trades in manner and with materials recommended by the floor covering manufacturer. Do not wet mop nor move equipment over floors until flooring has become set. Thoroughly clean all surfaces of covering. The General Contractor shall provide cover protection of sheet vinyl flooring as required.

END OF SECTION



## SECTION 09901 – PAINTING

### PART 1 - GENERAL

#### 1.01 GENERAL PROVISIONS

- A. Airless Spraying: Airless spray painting shall not be permitted on this project. All application shall be by brush or roller.
- B. Application: The Contractor shall strictly conform with all Manufacturer's written instructions and recommendations for all material application.
- C. Right of Rejection: The HHSC Representative shall have the right to reject all work which is not in compliance with the plans and specifications. Rejected work shall be redone at no cost to the Hospital.
- D. All materials shall have low or no volatile organic compounds (VOC). The HHSC Representative reserves the right to stop all and any application work and the use of materials emitting offensive odors.

#### 1.03 SUBMITTALS

Submit in accordance with SECTION 01300 – SUBMITTALS.

- A. Schedule of Finishes
  - 1. 4 sets of proposed painting finish schedule shall be submitted to the Engineer for approval. The schedule shall indicate the wet film thickness (mils) at which the proposed paints/coatings will be applied that are necessary to achieve the final dry film thickness indicated on the Schedule of Finishes under Section 2.02.
- B. Color Samples: It is the intent for all painting required in the section to match the existing adjoining painted surfaces as close as possible in color and finish. Therefore, samples shall not be required.
- D. Guaranty: 3 copies of a written guarantee shall be submitted to the HHSC Representative.

#### 1.04 GUARANTY

- A. The Contractor shall guarantee that the work performed under this section conforms to the contract requirements and is free of any defect of material or workmanship performed by the Contractor. Such guarantee shall continue for a period of 2 years from the date of project acceptance during which period the Contractor shall remedy at his own expense any such failure to conform or any such defect.
- B. The HHSC Representative shall notify the Contractor in writing within a reasonable time after discovery of any failure or defect.



- C. Should the Contractor fail to remedy any failure or defect described in Paragraph A above within 10 working days after receipt of notice thereof, the HHSC Representative shall have the right to repair or otherwise remedy such failure or damage at the Contractor's expense.

#### 1.05 SPECIAL REQUIREMENTS

A. Codes

1. The Contractor shall comply with the State OSHL (Occupational Safety and Health Law) and all pollution control regulations of the State Department of Health.

B. Protection

1. Persons

- a. The Contractor shall take all necessary precautions to protect occupants, staff and public from injury.
- b. The Contractor shall provide, erect and maintain safety barricades around scaffolds, hoists and wherever Contractor's operations create hazardous conditions in order to properly protect the students, faculty, staff and public.

2. Completed Work: The Contractor shall provide all necessary protection for wet paint surfaces.

3. Protective Covering: The Contractor shall provide and install protective covering over furniture, equipment, floor and other areas that are not scheduled for treatment. Protective covering shall be clean sanitary drop cloth or plastic sheets. Paint applied to surfaces not scheduled for treatment shall be completely removed and surfaces shall be returned to original condition.

4. Safeguarding of Property: The Contractor shall take whatever steps may be necessary to safeguard his work and also the property of the Maluhia and other individuals in the vicinity of his work area during the execution of this Contract. He shall be responsible for and make good on any and all damages and for losses to work or property caused by his or his employee's negligence.

Should surface preparation work include power-washing of the existing surface, the Contractor shall take all necessary precautions to control water run-off. Failure to take this precaution shall be grounds to stop the work of the project until a satisfactory solution is provided. Costs for this action shall be borne by the Contractor.



5. Fire Safety: The Contractor shall direct his employees not to smoke in the vicinity and exercise precautions against fire at all times. Waste rags, plastic (polyester sheets), empty cans, etc. shall be removed from the site at the end of each day.
- C. Storage Area for Materials: No paint material, empty cans and paint brushes and rollers may be stored in buildings, but shall be stored in separate storage facilities away from the buildings. The Contractor may furnish a job site storage facility. Such facility shall comply with requirements of the local Fire Department. The storage area shall be kept clean and facility shall be locked when not in use or when no visual supervision is possible.
- D. Sequence of Operations: The sequence of operations shall divide the surfaces into work areas and present a schedule for:
  1. Surface preparation and spot prime.
  2. Prime coat.
  3. First finish coat.
  4. Second finish coat.
- E. Protection, Removal, Trimming of Landscaping: The Contractor shall coordinate with the University on the location of scaffolding, platforms, etc., within the landscaping surrounding the buildings. The Contractor shall be responsible for all trimming and removal or relocation of landscaping as necessary. The Contractor shall be responsible for protection of all landscaping to remain.

#### 1.06 AREAS TO BE PAINTED

- A. Surfaces to be Painted
  1. Interior: All new exposed fabrications not prefinished, new mechanical piping, new electrical conduits, and touch-up of existing surfaces for the work of this project.
  2. All questions regarding the extent of work shall be addressed to the HHSC Representative for clarification. The Contractor's bid shall assume, that unless noted otherwise, all questionable surfaces shall be assumed to be painted unless directed by the HHSC Representative otherwise.
- B. Work Incidental to Painting
  1. Other items as noted in the drawings or herein specified.

#### PART 2 - PRODUCTS



## 2.01 MATERIALS

The Contractor shall be responsible for furnishing to the University quantities of each paint material required. The paint materials will generally meet the following requirements.

- A. Asbestos Prohibition: No asbestos containing materials or equipment shall be used under this section. The Contractor shall ensure that all materials and equipment incorporated in the project are asbestos-free.
- B. Lead Prohibition: All paints shall be lead-free.
- C. Mercury Prohibition: All paint shall be mercury- free.
- D. Chromate Prohibition: All paint shall be free of zinc-chromate and/or strontium-chromate.
- E. Cadmium Prohibition: All paint shall be cadmium free.
- F. All materials shall be low or no VOC and shall not produce offensive odors unless otherwise specified. Should offensive odors be produced, the contractor shall immediately stop and cease to use such product until an acceptable ventilation system can be provided by the contractor to remove such offensive odors. Provide ventilation in conformance with manufacturer's recommendations. If a ventilation system is required, the cost of such measures shall be borne by the contractor.
- G. Paints shall be as manufactured by Benjamin Moore, Glidden Professional, Sherwin Williams, Pittsburg Paint or pre-approved equal.
- H. Thinning of paint shall be done using material recommended by the manufacturer. Mix proprietary products according to manufacturer's printed specifications. Compound thinner, mineral oil, kerosene, refined linseed oil, or gasoline shall not be used for thinning.
- I. Except for metal primers all paint shall contain the maximum amount of mildewcide per gallon of paint permitted by the mildewcide manufacturer without adversely affecting the quality of the paint.

## 2.02 SCHEDULE OF FINISHES

- A. The Schedule of Finishes is made for the convenience of the Contractor and indicates the types and quality of finishes to be applied to the surfaces.
- B. Any existing painted surface not specifically noted in the finish schedule shall be finished to match adjoining work.



- C. Additional paint materials not included in the Schedule of Finishes, however, required for the conditions of the site, shall be provided by the Contractor for a complete paint/repaint project.

## PART 3 – EXECUTION

### 3.01 WORKMANSHIP

- A. Apply all materials in strict accordance with the manufacturer's printed instructions with paint evenly spread and well applied with no drops, runs, or sags. Do not apply paint on wet or damp surfaces nor until preceding coat of paint is thoroughly dry, and in the case of woodwork, well sanded. Particular attention shall be made to sanding between finish coats. All finishes are intended to thoroughly cover in the number of coats listed, using the quality of paint specified. If paints are thinned, apply sufficient additional coats as required to provide full and complete coverage, with no shadows, spots, streaks, voids, color bleed-through, or other defects.
- B. Identification of coatings: Each coat shall be tinted a slightly different shade from the preceding coat so that it can be readily identified. Finish coat shall match approved sample for each portion of work.
- C. All surfaces adjacent to areas being finished shall be protected and left clean of paints, stains, etc. Clean drop cloths shall be used until completion of job.
- D. All mixing shall be done outside the building.
- E. All waste materials shall not be left in or near the building but shall be stored in proper metal containers.
- F. Take all necessary precautions to prevent or minimize dust from surface preparation work from becoming airborne and spreading beyond the immediate work area. If directed by Maluhia's representative, provide a dust barricade around the work area at no additional cost to Maluhia.

### 3.02 PREPARATION OF SURFACES

- A. The painting contractor shall be wholly responsible for the finish of his work and shall not commence any part of it until surfaces are in proper condition. If painting contractor considers any surfaces unsuitable for proper finish of his work, he shall notify the General Contractor of this fact and he shall not apply any material until the unsuitable surfaces have been made satisfactory. Major defects shall be restored by the proper trades. In general, follow paint manufacturer's directions for surface preparation for the paint to be applied.
- B. All surfaces:



1. All surfaces shall be free of all contaminants, including oils, greases dirt, grime, loose paint, chalk, imbedded contaminants, rust, mildew and/or any surface contaminants that will impede the proper adhesion and appearance of the finishes to be applied.
  2. Remove surface "chalk" by a soap and water scrubbing. Rinse thoroughly.
  3. Existing surfaces, where touch-up is required, to which new paint is to be applied shall be tightly bonded to the subsurface.
  4. Remove all mildew by scrubbing with a commercial mildew wash formulated for this purpose such as Jomax or pre-approved equal. Apply per manufacturer's written instructions and adhere to all cautions. Allow 15 – 20 minutes dwell time before rinsing. If necessary, scrub surfaces to remove mildew and dirt. Work from the top to bottom. Thoroughly rinse with clean, fresh water and allow surfaces to dry thoroughly before proceeding. Repeat above process if necessary to insure removal of all milder contamination.
- C. Scuff-sand glossy surfaces scheduled for painting to insure proper adhesion.
- D. Unprimed galvanized metal shall be washed with a solution of chemical phosphoric metal etch and allowed to dry.
- E. All metal surfaces shall be made clean and free of any defects or condition that may produce unsatisfactory finish.

### 3.03 PAINT APPLICATION

- A. General: All materials shall be applied in accordance with the manufacturer's specifications and the finished surfaces shall be free from runs, sags, drops, ridges, waves, laps, streaks, brush marks and variations in color, texture and finish (glossy or dull). The coverage shall be complete and each coat shall be so applied as to produce a film of uniform thickness. No paint materials shall be applied until the preceding coat is thoroughly dry and approved.
- B. Application: Application shall be by brush or roller only. Paint coating shall be dressed down in one direction.
- a. Perform all painting and finishing, using specified materials applied by thoroughly experienced, skilled workmen.
  - b. Apply by hand brushing or rollers, except where specifically authorized by Architect to do otherwise.



- c. Flow on materials to insure smooth, even coats, free from soil, runs, brush marks, sags and laps. Apply proprietary paint products in strict accordance with manufacturer's directions.
- d. Painting where executed in contrasting color tones. Cut to meet true lines against contrasting colors. Holidays and restrikes in painted areas shall be considered sufficient cause to require recoating of entire surface.
- e. Doors: No painting required.
- f. Sanding: In addition to preparatory sanding, fine sand between succeeding coats of enamel, using sandpaper appropriate to the finish.
- g. Putty nail holes in all pre-finished trim and touch-up putty and other defects to match finish.
- h. Application: Shall be by brush or roller. Airless spraying not permitted.
- i. Colors: Each coat shall be tinted a different shade from the preceding coat. Colors to match existing. Refer to Interior Finish Schedule for paint color and location.

C. Schedule of Paint Treatments:

- a. The schedule of finishes is made for the convenience of the Contractor and indicates the types and quality of finishes to be applied to the surfaces. Number of coats shown are for guide only. **Additional coats may be required to provide proper coverage.**
- b. Any existing painted surfaces not specifically noted in the finish schedule shall be finished to match adjoining work.
- c. All paints specified are by Benjamin Moore Paints and Glidden, unless otherwise noted.

Interior Finish Schedule:

1. Drywall

First Coat.....N23 Multi-Purpose Latex Primer  
 Second Coat.....528 Aura Waterborne Interior Semi-Gloss Finish  
 Third Coat.....528 Aura Waterborne Interior Semi-Gloss Finish

2. Drywall and Concrete Ceiling/Soffits

First Coat.....N23 Multi-Purpose Latex Primer  
 Second Coat.....524 Aura Waterborne Interior Eggshell Finish  
 Third Coat.....524 Aura Waterborne Interior Eggshell Finish



3. Existing Painted Surfaces (Plaster, Concrete and Drywall)

First Coat.....524 Aura Waterborne Interior Eggshell Finish  
Second Coat..... 524 Aura Waterborne Interior Eggshell Finish

4. Metal (Galvanized)

First Coat..... N23 Multi-Purpose Latex Primer  
Second Coat.....528 Aura Waterborne Interior Semi-Gloss Finish  
Third Coat.....528 Aura Waterborne Interior Semi-Gloss Finish

D. Colors: Each coat shall be tinted a different shade from the preceding coat. Colors shall generally match the existing building colors or as selected by the HHSC Representative.

- a. Number of coats schedule are minimum; provide paint finishes free from cloudy or mottled surfaces, and with complete coverage of even uniform color. Spot prime or undercoat as necessary.
- b. Apply paints and finishes in order scheduled, unless otherwise directed. Where more than one coat of paint is scheduled, tint undercoats to approximately same color, but vary the shade of succeeding coats for identification.
- c. Do not apply succeeding coats until undercoats are thoroughly dry.
- d. After completion of work, do all necessary touching up of all the painting and finishing and leave work in perfect condition. Additional coats will be required where finished work is not in complete compliance with all requirements of these specifications, including required inspections and approvals made during the course of the work.

3.04 PROTECTION OF PROPERTY

The Contractor shall be responsible for condition of work area in his charge. He shall protect adjacent work and materials from soiling or damage as well as his own. The storage and handling of paints and thinners shall be in accordance with the safety provisions and codes covering such handling and storage.

3.05 INSPECTION

All areas shall be provided for inspection of the work by the Engineer at any time. Any work not conforming to these specifications shall be cleaned off, and repainted at the expense of the Contractor.



### 3.06 ELECTRICAL

- A. Electrical apparatus, light fixtures, and equipment having a factory applied baked enamel finish are not to be painted. Touch-up painting of this equipment shall be the responsibility of the Electrical Contractor.
- B. Paint all exposed non-factory finished interior and exterior electrical conduits, fittings, boxes, etc. Galvanized items to receive one coat of galvanized iron primer and two coats finish to match surrounding surfaces. Factory primed items to receive two coats finish to match surrounding surfaces.
- C. Paint front of flush mounted electrical panels and cabinets in finished areas to match adjacent wall surfaces.

### 3.07 MISCELLANEOUS

#### A. Clean-up

- 1. During the progress of the work, all debris, empty crates, waste, drippings, etc. shall be removed by the Contractor and the grounds about the areas to be painted shall be left clean and orderly at the end of each work day.
- 2. Upon completion of the work, staging, scaffolding, containers and all other debris shall be removed from the site. All paint, shellac, oil, or stains splashed or spilled upon adjacent surfaces not requiring treatment (hardware, fixture, floor, glass) shall be removed and the entire job left clean and acceptable.

END OF SECTION



## SECTION 10800 – TOILET ROOM ACCESSORIES

### PART 1 - GENERAL

#### 1.01 SCOPE

This section includes everything necessary for and incidental to the execution and completion of the toilet room accessories (furnishing and installing) as indicated on the drawings and as specified herein.

Coordinate with Section 6B - Finish Carpentry, all required backing (provide fire treated lumber if wood is used) for proper installation of toilet room accessories.

#### 1.02 MATERIALS

A. Accessories shall be models listed below or approved equals. Model numbers refer to "Contura" Series by Bobrick equipment unless noted otherwise.

- |    |  |                                 |
|----|--|---------------------------------|
| 1. | Surface Mounted Toilet Seat Cover Dispenser..... | B-4221                          |
| 2. | Surface Mounted Paper Towel Dispenser.....       | OFCI                            |
| 3. | Toilet Paper Dispenser.....                      | OFCI                            |
| 4. | 1-1/2" Diameter Grab Bars w/Concealed Mounting.. | B-6806<br>(18", 30", 36" & 42") |
| 5. | Wall Mounted Mirror 24"w x 36"h.....             | B-290 2436                      |
| 6. | Surface Mounted Soap Dispensers.....             | OFCI                            |

B. Items noted above as "OFCI" are to be Owner-Furnished, Contractor Installed.

#### 1.03 INSTALLATION

Accessories shall be located in areas indicated on the drawings or as noted. Provide necessary grounds, inserts, screws and bolts as required to provide adequate anchorage.

END OF SECTION



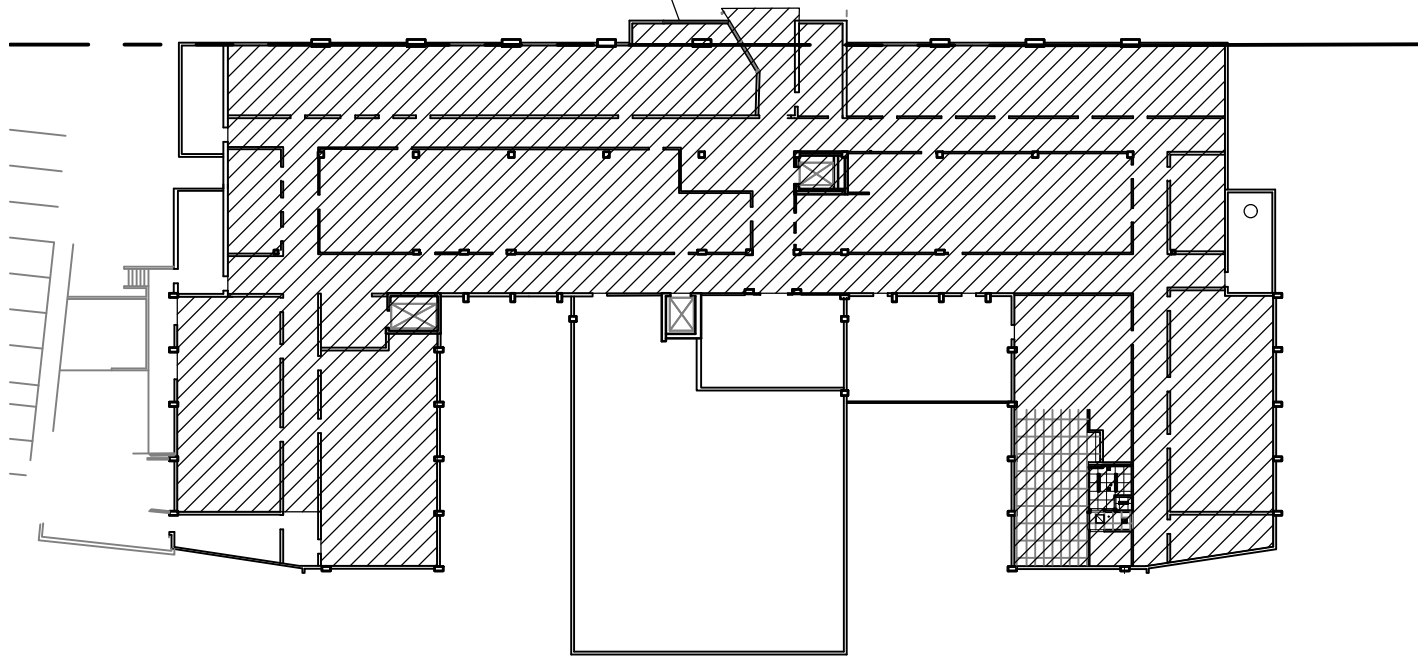
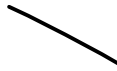

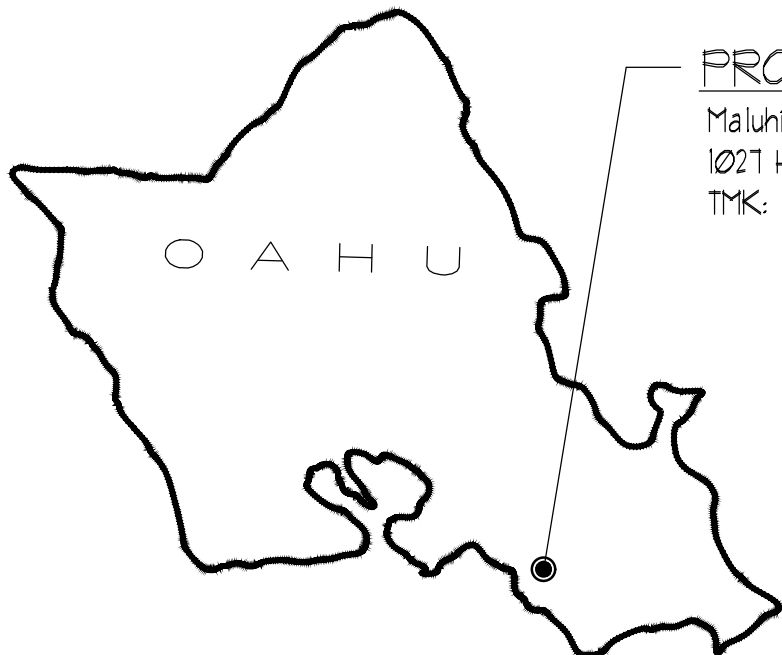
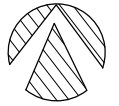
# ADA RENOVATIONS

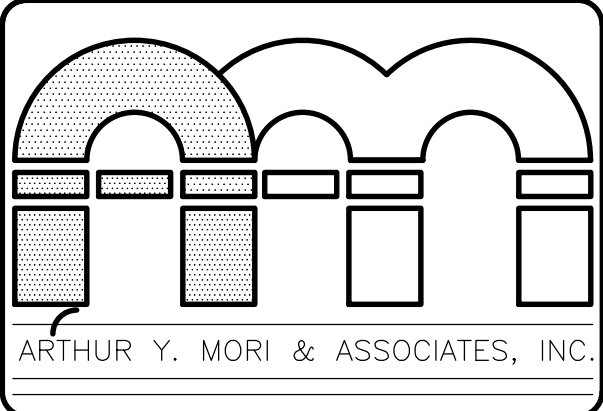
Maluhia – 1st, 2nd, & 3rd Floor

1027 Hala Drive

Honolulu, HI 96817

Tax Map Key: 1-6-009: 004

PROJECT TEAM		GENERAL NOTES	LOCATION MAP	DRAWING INDEX																																																																																																															
<div>ARCHITECT</div> <div>Arthur Mori &amp; Associates, Inc. 1314 S. King Street, Suite 955 Honolulu, HI 96814 Tel: (808) 596-2421 Email: ama@aymori.com Contact: Jeffrey Mori</div> <div>ELECTRICAL CONSULTANT</div> <div>Bennett Engineers Inc. 765 Amana Street, Suite 201 Honolulu, HI 96814 Tel: (808)955-8565 Email: ryan@bennettengineers.com Contact: Ryan Hashiro</div> <div>MECHANICAL CONSULTANT</div> <div>Mechanical Enterprises 501 Sumner Street, Suite 503 Honolulu, HI 96817 Tel: (808) 591-9038 Email: rtanaka@meihawaii.com Contact: Ross Tanaka</div>		<div>1. THE INTENT OF THIS PROJECT CONFORMS TO THE AMERICAN WITH DISABILITIES GUIDELINES FOR BUILDING AND FACILITIES.</div> <div>2. EXISTING FIRE SPRINKLER SYSTEM (HEAD, BRANCH LINE, MAIN LINE &amp; VALVE) TO REMAIN IN EXISTING LOCATIONS, FULLY OPERATIONAL DURING DEMOLITION. REFER TO MECHANICAL DRAWINGS FOR FIRE SPRINKLER SYSTEM MODIFICATIONS.</div> <div>3. FIRE SAFETY DURING CONSTRUCTION, ALTERATIONS OR DEMOLITION SHALL BE IN ACCORDANCE WITH NFPA 1 2018.</div> <div>16.1.1 STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION OPERATIONS, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND THIS CHAPTER 2018 NFPA 1.</div> <div>16.4.4.1 WHERE THE BUILDING IS PROTECTED BY FIRE PROTECTION SYSTEMS, SUCH SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING ALTERATION.</div> <div>16.4.4.2 WHERE ALTERATION REQUIRES MODIFICATION OF A PORTION OF THE FIRE PROTECTION SYSTEM, THE REMAINDER OF THE SYSTEM SHALL BE KEPT IN SERVICE AND THE FIRE DEPARTMENT SHALL BE NOTIFIED.</div> <div>16.4.4.3 WHEN IT IS NECESSARY TO SHUT DOWN THE SYSTEM, THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE ALTERNATE MEASURES OF PROTECTION UNTIL THE SYSTEM IS RETURNED TO SERVICE.</div> <div>10.8.1.1 AS NECESSARY DURING EMERGENCIES, MAINTENANCE, DRILLS, PRESCRIBED TESTING, ALTERATIONS, OR RENOVATIONS, PORTABLE OR FIXED FIRE-EXTINGUISHING SYSTEMS OR DEVICES OR ANY FIRE-WARNING SYSTEM SHALL BE PERMITTED TO BE MADE INOPERATIVE OR INACCESSIBLE. A FIRE WATCH SHALL BE REQUIRED AS SPECIFIED IN SECTIONS 13.3.4.3.5.2(3), 13.7.1.4.4, 16.5.4, 20.2.3.6, 34.6.3.3, 41.2.2.5, 41.2.2.6, 41.2.4, 41.3.4, 41.4.1, 34.5.4.3, 25.1.8 AT NO COST TO THE AHJ 2012 NFPA 1, AS AMENDED.</div> <div>13.1.9 WHEN A FIRE PROTECTION SYSTEM IS OUT OF SERVICE FOR MORE THAN 24 HOURS IN A 24-HOUR PERIOD, THE AHJ SHALL BE PERMITTED TO REQUIRE THE BUILDING TO BE EVACUATED OR AN APPROVED FIRE WATCH TO BE PROVIDED FOR ALL PORTIONS LEFT UNPROTECTED BY THE FIRE PROTECTION SYSTEM SHUTDOWN UNTIL THE FIRE PROTECTION SYSTEM HAS BEEN RETURNED TO SERVICE.</div> <div>13.6.3 REPAIRS, RENOVATIONS, ALTERATIONS, RECONSTRUCTIONS, CHANGE OF OCCUPANCY, AND ADDITIONS TO BUILDINGS SHALL CONFORM TO THIS CODE, NFPA 101, AND BUILDING CODE.</div> <div>4. ROH 18.5.2 RETENTION OF PLANS ONE SET OF APPROVED PLANS, SPECIFICATIONS, AND COMPUTATIONS SHALL BE RETAINED BY THE BUILDING OFFICIAL FOR A PERIOD OF NOT LESS THAN 90 DAYS FROM DATE OF COMPLETION OF THE WORK COVERED THEREIN, AND ONE SET OF APPROVED PLANS SHALL BE RETURNED TO THE APPLICANT, AND SAID SET SHALL BE KEPT ON THE SITE OF THE BUILDING OR WORK AT ALL TIMES DURING WHICH THE WORK AUTHORIZED THEREBY IS IN PROGRESS. (SEC. 18-5.2 R.O. 1978 (1983 ED) :AM. ORD. 93-59)</div> <div>5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF CONSTRUCTION, AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING WORK.</div> <div>6. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.</div> <div>7. ALL EXISTING EQUIPMENT REMOVED BY DEMOLITION OR REHABILITATION SHALL BE DISPOSED OF AS DIRECTED BY THE OWNER.</div> <div>8. THE CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING CONSTRUCTION AND AREA ON-SITE OUTSIDE OF CONSTRUCTION LIMITS. ALL DUST, DEBRIS AND NOISE SHALL BE KEPT TO A MINIMUM AND SHALL BE CONTAINED BY TEMPORARY WALLS OR BARRIERS AS REQUIRED.</div> <div>9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL METHODS AND MEANS OF CONSTRUCTION.</div> <div>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFETY, AND SHALL USE SAFE CONSTRUCTION METHODS.</div> <div>11. ALL PROPERTY DAMAGED BY WORK UNDER THIS CONTRACT SHALL BE REPAIRED AND/OR REPLACED.</div> <div>12. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF RUBBISH AND WASTE MATERIAL CAUSED BY THE WORK.</div> <div>13. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND RECOMMENDATIONS.</div> <div>14. ALL CONCEALED LUMBER TO BE FIRE-RETARDANT TREATED.</div> <div>15. THIS PROJECT IS SUBJECT TO THE CONFORMANCE WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES ADMINISTERED BY THE DEPARTMENT OF JUSTICE SHALL BE EQUIVALENT TO MEETING THE ACCESSIBILITY OF THIS CODE.</div> <div>16. EVENING AND WEEKEND WORK ARE CONSIDERED TO BE INCIDENTAL TO THE PROJECT AND PART OF THE PROJECT SCOPE OF WORK.</div>	<div><div>PROJECT AREA</div><div>Maluhia 1st, 2nd, 4 3rd Floors</div><div>HALA DRIVE</div><div></div><div></div><div><div>LOCATION MAP</div><div>NO SCALE</div></div><div><div>PROJECT SITE</div><div>Maluhia 1027 Hala Drive TMK: 1-6-009: 004</div><div></div><div><div>MAP OF OAHU</div><div>NO SCALE</div></div></div></div>	<table><tr><th>SHT NO.</th><th>SHEET TITLE</th><th></th></tr><tr><td rowspan="15">ARCHITECTURAL</td><td>000</td><td>TITLE, PROJECT TEAM, BUILDING INFORMATION, GENERAL NOTES, LOCATION MAP, DRAWING INDEX</td><td>1</td></tr><tr><td>A000</td><td>TOILET ACCESSORIES MOUNTING HEIGHTS, SYMBOLS, &amp; ABBREVIATIONS</td><td>2</td></tr><tr><td>A001</td><td>OVERALL 1ST FLOOR PLAN</td><td>3</td></tr><tr><td>A002</td><td>ENTRY RAMP EXST/DEMO AND NEW FLOOR PLANS</td><td>4</td></tr><tr><td>A003</td><td>PHYSICAL THERAPY TOILET ROOM FLOOR AND CEILING PLANS – 1ST FLOOR</td><td>5</td></tr><tr><td>A004</td><td>OVERALL 2ND FLOOR PLAN</td><td>6</td></tr><tr><td>A005</td><td>EXST/DEMO DAY ROOM AND PATIENT BATHROOM PLANS – 2ND FLOOR</td><td>7</td></tr><tr><td>A006</td><td>NEW DAY ROOM AND PATIENT BATHROOM PLANS – 2ND FLOOR</td><td></td></tr><tr><td>A007</td><td>EXST/DEMO PATIENT BATHROOM PLANS – 2ND FLOOR</td><td>9</td></tr><tr><td>A008</td><td>NEW PATIENT BATHROOM PLANS – 2ND FLOOR</td><td>10</td></tr><tr><td>A009</td><td>OVERALL 3RD FLOOR PLAN</td><td>11</td></tr><tr><td>A010</td><td>EXST/DEMO DAY ROOM AND PATIENT BATHROOM PLANS – 3RD FLOOR</td><td>12</td></tr><tr><td>A011</td><td>NEW DAY ROOM AND PATIENT BATHROOM PLANS – 3RD FLOOR</td><td>13</td></tr><tr><td>A012</td><td>EXST/DEMO PATIENT BATHROOM PLANS – 3RD FLOOR</td><td>14</td></tr><tr><td>A013</td><td>NEW PATIENT BATHROOM PLANS – 3RD FLOOR</td><td>15</td></tr><tr><td>A014</td><td>INTERIOR ELEVATIONS</td><td>16</td></tr><tr><td>A015</td><td>DOOR SCHEDULE, WALL TYPES, DETAILS, &amp; FINISH SPECIFICATIONS</td><td>17</td></tr><tr><td rowspan="10">MECHANICAL</td><td>M001</td><td>MECHANICAL GENERAL NOTES AND LEGEND</td><td>18</td></tr><tr><td>M002</td><td>FIRST FLOOR PARTIAL PLUMBING PLANS</td><td>19</td></tr><tr><td>M003</td><td>SECOND FLOOR PARTIAL PLUMBING PLAN</td><td>20</td></tr><tr><td>M004</td><td>SECOND FLOOR PARTIAL PLUMBING PLAN</td><td>21</td></tr><tr><td>M005</td><td>THIRD FLOOR PARTIAL PLUMBING PLAN</td><td>22</td></tr><tr><td>M006</td><td>THIRD FLOOR PARTIAL PLUMBING PLAN</td><td>23</td></tr><tr><td>M007</td><td>FIRST FLOOR PARTIAL MECHANICAL PLANS</td><td>24</td></tr><tr><td>M008</td><td>FIRST FLOOR PARTIAL FIRE SPRINKLER PLANS</td><td>25</td></tr><tr><td>M009</td><td>PLUMBING DETAILS</td><td>26</td></tr><tr><td>M010</td><td>MECHANICAL SPECIFICATIONS</td><td>27</td></tr><tr><td rowspan="8">ELECTRICAL</td><td>E000</td><td>ELECTRICAL LEGEND &amp; NOTES, LUMINAIRE SCHEDULE</td><td>28</td></tr><tr><td>E001</td><td>ELECTRICAL PLANS – BASE BID</td><td>29</td></tr><tr><td>E002</td><td>ELECTRICAL PLANS – ADD ALT 1</td><td>30</td></tr><tr><td>E003</td><td>ELECTRICAL PLANS – ADD ALT 2</td><td>31</td></tr><tr><td>E004</td><td>ELECTRICAL PLANS – ADD ALT 3</td><td>32</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>	SHT NO.	SHEET TITLE		ARCHITECTURAL	000	TITLE, PROJECT TEAM, BUILDING INFORMATION, GENERAL NOTES, LOCATION MAP, DRAWING INDEX	1	A000	TOILET ACCESSORIES MOUNTING HEIGHTS, SYMBOLS, & ABBREVIATIONS	2	A001	OVERALL 1ST FLOOR PLAN	3	A002	ENTRY RAMP EXST/DEMO AND NEW FLOOR PLANS	4	A003	PHYSICAL THERAPY TOILET ROOM FLOOR AND CEILING PLANS – 1ST FLOOR	5	A004	OVERALL 2ND FLOOR PLAN	6	A005	EXST/DEMO DAY ROOM AND PATIENT BATHROOM PLANS – 2ND FLOOR	7	A006	NEW DAY ROOM AND PATIENT BATHROOM PLANS – 2ND FLOOR		A007	EXST/DEMO PATIENT BATHROOM PLANS – 2ND FLOOR	9	A008	NEW PATIENT BATHROOM PLANS – 2ND FLOOR	10	A009	OVERALL 3RD FLOOR PLAN	11	A010	EXST/DEMO DAY ROOM AND PATIENT BATHROOM PLANS – 3RD FLOOR	12	A011	NEW DAY ROOM AND PATIENT BATHROOM PLANS – 3RD FLOOR	13	A012	EXST/DEMO PATIENT BATHROOM PLANS – 3RD FLOOR	14	A013	NEW PATIENT BATHROOM PLANS – 3RD FLOOR	15	A014	INTERIOR ELEVATIONS	16	A015	DOOR SCHEDULE, WALL TYPES, DETAILS, & FINISH SPECIFICATIONS	17	MECHANICAL	M001	MECHANICAL GENERAL NOTES AND LEGEND	18	M002	FIRST FLOOR PARTIAL PLUMBING PLANS	19	M003	SECOND FLOOR PARTIAL PLUMBING PLAN	20	M004	SECOND FLOOR PARTIAL PLUMBING PLAN	21	M005	THIRD FLOOR PARTIAL PLUMBING PLAN	22	M006	THIRD FLOOR PARTIAL PLUMBING PLAN	23	M007	FIRST FLOOR PARTIAL MECHANICAL PLANS	24	M008	FIRST FLOOR PARTIAL FIRE SPRINKLER PLANS	25	M009	PLUMBING DETAILS	26	M010	MECHANICAL SPECIFICATIONS	27	ELECTRICAL	E000	ELECTRICAL LEGEND & NOTES, LUMINAIRE SCHEDULE	28	E001	ELECTRICAL PLANS – BASE BID	29	E002	ELECTRICAL PLANS – ADD ALT 1	30	E003	ELECTRICAL PLANS – ADD ALT 2	31	E004	ELECTRICAL PLANS – ADD ALT 3	32									
SHT NO.	SHEET TITLE																																																																																																																		
ARCHITECTURAL	000	TITLE, PROJECT TEAM, BUILDING INFORMATION, GENERAL NOTES, LOCATION MAP, DRAWING INDEX	1																																																																																																																
	A000	TOILET ACCESSORIES MOUNTING HEIGHTS, SYMBOLS, & ABBREVIATIONS	2																																																																																																																
	A001	OVERALL 1ST FLOOR PLAN	3																																																																																																																
	A002	ENTRY RAMP EXST/DEMO AND NEW FLOOR PLANS	4																																																																																																																
	A003	PHYSICAL THERAPY TOILET ROOM FLOOR AND CEILING PLANS – 1ST FLOOR	5																																																																																																																
	A004	OVERALL 2ND FLOOR PLAN	6																																																																																																																
	A005	EXST/DEMO DAY ROOM AND PATIENT BATHROOM PLANS – 2ND FLOOR	7																																																																																																																
	A006	NEW DAY ROOM AND PATIENT BATHROOM PLANS – 2ND FLOOR																																																																																																																	
	A007	EXST/DEMO PATIENT BATHROOM PLANS – 2ND FLOOR	9																																																																																																																
	A008	NEW PATIENT BATHROOM PLANS – 2ND FLOOR	10																																																																																																																
	A009	OVERALL 3RD FLOOR PLAN	11																																																																																																																
	A010	EXST/DEMO DAY ROOM AND PATIENT BATHROOM PLANS – 3RD FLOOR	12																																																																																																																
	A011	NEW DAY ROOM AND PATIENT BATHROOM PLANS – 3RD FLOOR	13																																																																																																																
	A012	EXST/DEMO PATIENT BATHROOM PLANS – 3RD FLOOR	14																																																																																																																
	A013	NEW PATIENT BATHROOM PLANS – 3RD FLOOR	15																																																																																																																
A014	INTERIOR ELEVATIONS	16																																																																																																																	
A015	DOOR SCHEDULE, WALL TYPES, DETAILS, & FINISH SPECIFICATIONS	17																																																																																																																	
MECHANICAL	M001	MECHANICAL GENERAL NOTES AND LEGEND	18																																																																																																																
	M002	FIRST FLOOR PARTIAL PLUMBING PLANS	19																																																																																																																
	M003	SECOND FLOOR PARTIAL PLUMBING PLAN	20																																																																																																																
	M004	SECOND FLOOR PARTIAL PLUMBING PLAN	21																																																																																																																
	M005	THIRD FLOOR PARTIAL PLUMBING PLAN	22																																																																																																																
	M006	THIRD FLOOR PARTIAL PLUMBING PLAN	23																																																																																																																
	M007	FIRST FLOOR PARTIAL MECHANICAL PLANS	24																																																																																																																
	M008	FIRST FLOOR PARTIAL FIRE SPRINKLER PLANS	25																																																																																																																
	M009	PLUMBING DETAILS	26																																																																																																																
	M010	MECHANICAL SPECIFICATIONS	27																																																																																																																
ELECTRICAL	E000	ELECTRICAL LEGEND & NOTES, LUMINAIRE SCHEDULE	28																																																																																																																
	E001	ELECTRICAL PLANS – BASE BID	29																																																																																																																
	E002	ELECTRICAL PLANS – ADD ALT 1	30																																																																																																																
	E003	ELECTRICAL PLANS – ADD ALT 2	31																																																																																																																
	E004	ELECTRICAL PLANS – ADD ALT 3	32																																																																																																																



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

ADA RENOVATIONS

Maluhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

Bid Set

TMK: 1-6-009: 004

SHEET TITLE  
TITLE, PROJECT TEAM, BUILDING INFORMATION, GENERAL NOTES, LOCATION MAP, DRAWING INDEX

JEFFREY Y. MORI  
LICENSED PROFESSIONAL ARCHITECT  
No. 6053  
HAWAII, USA

LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

SIGNATURE

NO.	REVISION
△	
△	
△	
△	
△	
JOB NO.	—

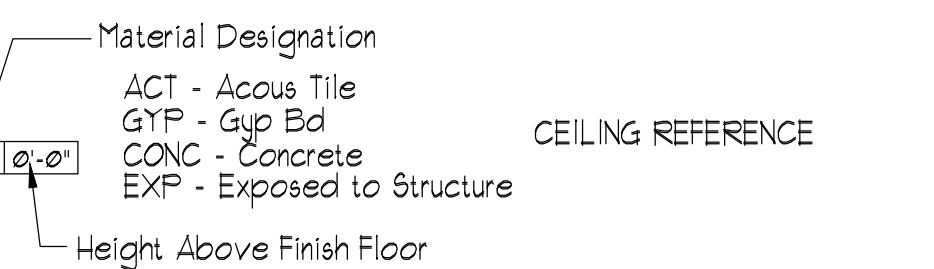
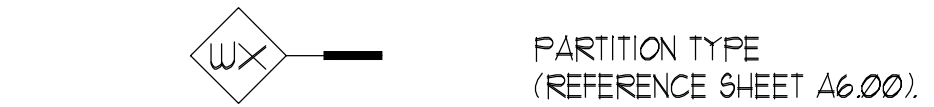
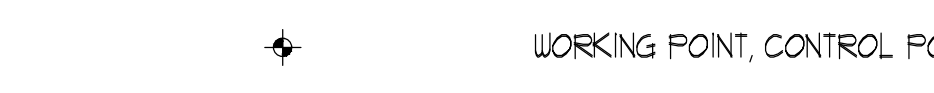
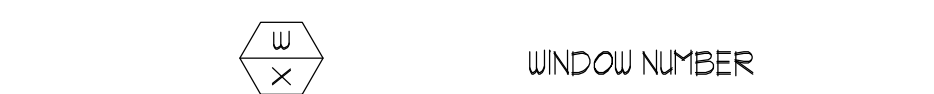
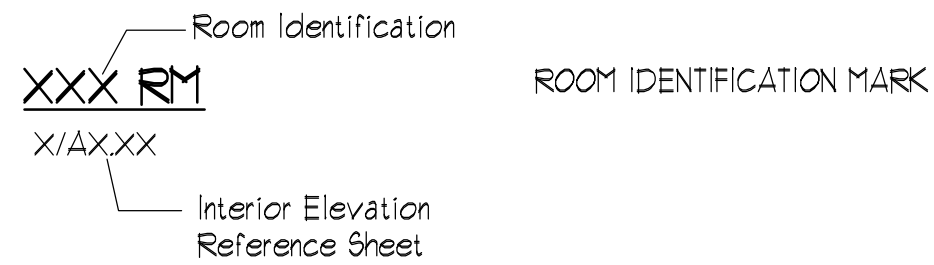
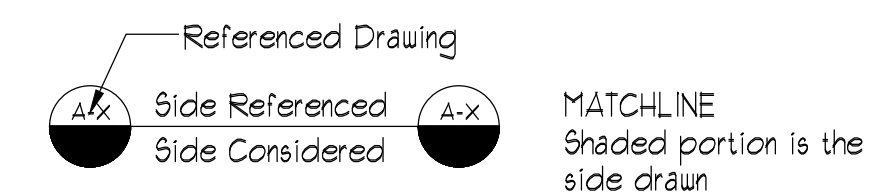
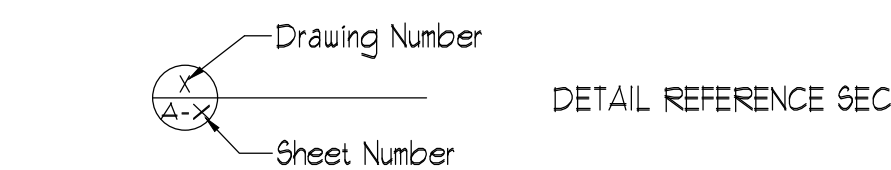
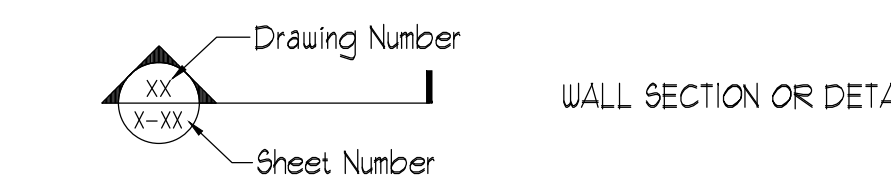
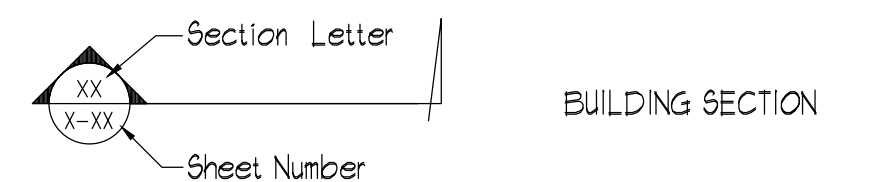
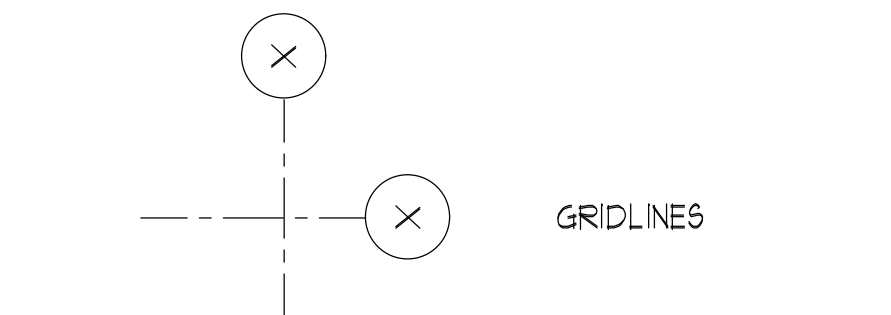
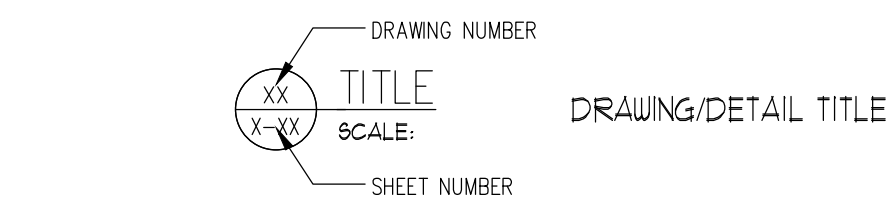
SHEET  
000

DATE  
SEPT 18, 2025

1 OF 32 SHTS

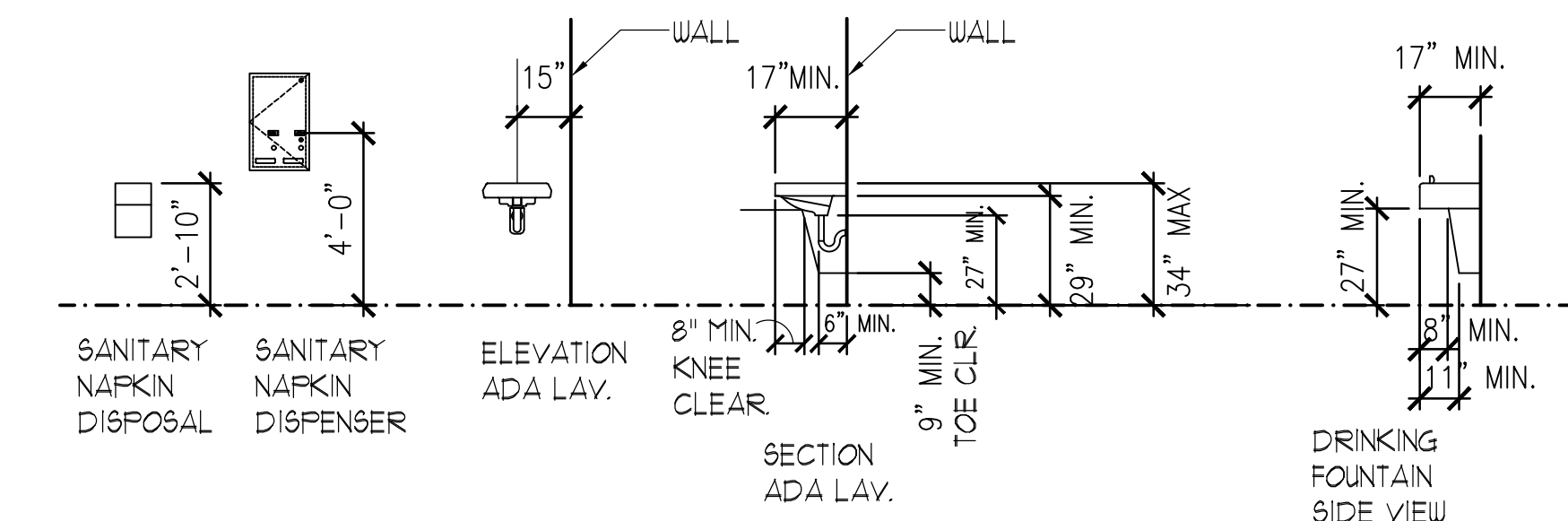
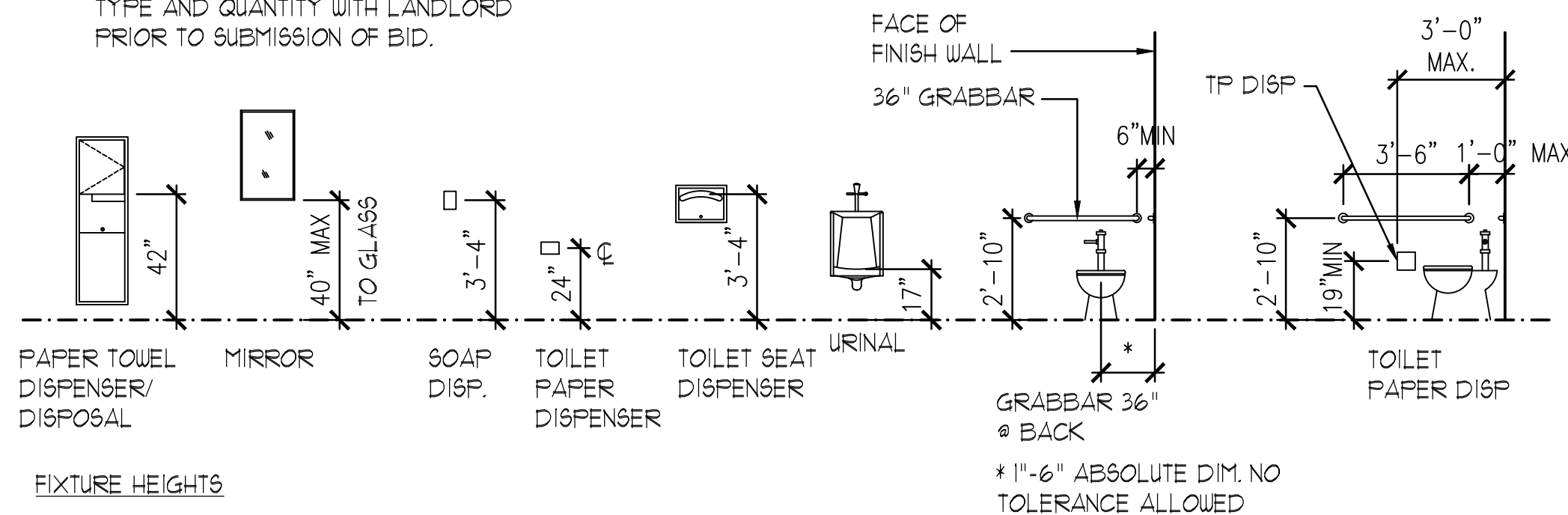


## SYMBOLS



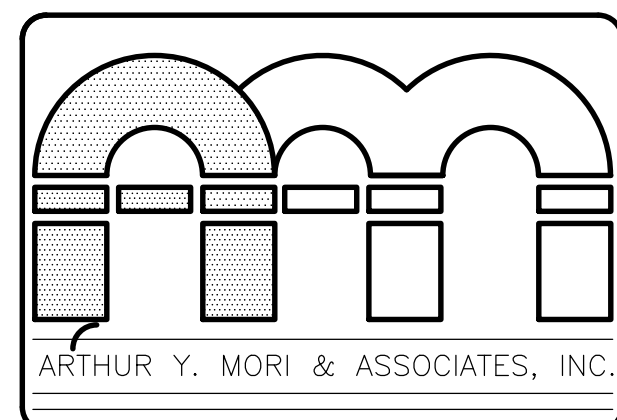
## TOILET ACCESSORIES MOUNTING HEIGHTS

- NOTES:**
1. ALL PLUMBING FIXTURES SHALL COMPLY WITH APPLICABLE ACCESSIBILITY CODES.
  2. ALL TOILET ROOM ACCESSORIES SHALL COMPLY WITH APPLICABLE ACCESSIBILITY CODES.
  3. PROVIDE SOLID BLOCKING FOR ALL WALL MOUNTED FIXTURES AS REQUIRED.
  4. ALL FINISHES AND COLORS ARE TO BE REVIEWED WITH ARCHITECT AND OWNER PRIOR TO APPLICATION.
  5. FOR TOILET ACCESSORIES, VERIFY THE TYPE AND QUANTITY WITH LANDLORD PRIOR TO SUBMISSION OF BID.



## ABBREVIATIONS

4	And	CLR	Clear	ELEC	Electrical	F/F UNIT	File/File Unit	M	Male	P	Power	SA	Single Acting	TJ	Tooled Joint
/	Angle	CMU	Concrete Masonry Units	ELEV	Elevator			MAX	Maximum	PC	Piece	SC	Scale or Solid Core	TO ( )	Top of (Item)
@	At	CNTR	Counter	EMER, (EM)	Emergency	GA	Gauge	MB	Machine Bolt	PL	Plate or Property Line	SCD	Seat Cover Dispenser	TPD	Toilet Paper Dispenser
C	Centerline	CO	Clean Out	ENCL	Enclosure	GALV	Galvanized	MBR	Master Bedroom	PLAM	Plastic Laminate	SCHED	Schedule	TPH	Toilet Paper Holder
?	Diameter	COL	Column	EP	Electrical Panelboard	GB	Grab Bar	MC	Medicine Cabinet	PLAS	Plaster	SCR	Screen	TRD	Tread
#	Found: Number	CONC	Concrete	EQ	Equal	GI	Galvanized Iron	MECH	Mechanical	PLBG	Plumbing	SD	Smoke Detector or Soap Dish	TV	Television
AB	Anchor Bolt	COND	Condition	EQPT	Equipment	GL	Glass	MET	Metal	PLYWD	Plywood	SECT	Section	TYF	Typical
AC	Air Conditioning	CONN	Connection	EXP	Expansion	GLU-LAM	Glue Laminated Wood	MFR	Manufacturer	PNL	Panel	SF	Square Foot		
ACBM	Asbestos Containing Building Material	CONSTR	Construction	EXST, (E)	Existing	GMU	Glassmesh Mortar Units	MH	Manhole	FR	Fair	SH	Shelf	UNF	Unfinished
		CONT	Continuous	EXT	Exterior	GND	Ground	MIN	Minimum	PRCST	Precast	SHR	Shower	UNO	Unless Otherwise Noted
ACOUS	Acoustical	COORD	Coordinate			GR	Grade	MIR	Mirror	PROP	Property	SHT	Sheet	UR	Urinal
ADJ	Adjustable	CORR	Corridor			GWB	Gypsum Wall Board	MISC	Miscellaneous	PT	Point	SHT'G	Sheathing		
ADJA	Adjacent	CONTR	Contractor	F	Female	GYP	Gypsum	MLDG	Molding	PTD	Paper Towel Dispenser	SIM	Similar	VCT	Vinyl Composition Tile
AFF	Above Finished Floor	COTD	Clean Out to Drain	FA	Fire Alarm	GYP BD	Gypsum Board	MO	Masonry Opening	PTD/R	Combination Paper Towel Dispenser and Receptacle	SL	Slope	VERT	Vertical
AGGR	Aggregate	CRM	Concrete Rubble Masonry	FAEM	Fluid Applied Elastomeric Membrane	H	High or Height	MTD	Mounted			SLDG	Sliding	VEST	Vestibule
AL	Aluminum	CT	Ceramic Tile			HB	Hose Bibb	MTG	Mounting	PTN	Partition	SND	Sanitary Napkin Dispenser	VIF	Verify In Field
ALT	Alternate	CTR	Center	FB	Flat Bar	HC	Hollow Core	MTL	Material	PTR	Paper Towel Receptacle	SNR	Sanitary Napkin Receptacle	VTR	Vent Through Roof
ANOD	Anodized	CTSK	Countersink	FCU	Fan Coil Unit	HD	Head	MUL	Mullion	PVC	Polyvinyl Chloride	SPEC	Specification	V/D	Voice/Data
AP	Access Panel			FD	Floor Drain	HDCP	Handicapped			PVMT	Pavement	SFKR	Speaker		
APPROX	Approximate			FDN	Foundation	HJW, HDWD	Hardwood	NIC	Not In Contract			SQ	Square	W	Wide or Width
ARCH	Architectural	D	Deep or Depth	FE	Fire Extinguisher	HDWE	Hardware	NO or #	Number	QT	Quarry Tile	SSK	Service Sink	W/	With
ASB	Asbestos	DA	Double Acting	FEC	Fire Extinguisher Cabinet			NOM	Nominal			SSTL	Stainless Steel	WC	Wall Covering or Water Closet
ASPH	Asphalt	DBL	Double	FFE	Finish Floor Elevation	HM	Hollow Metal	NTS	Not to Scale			STD	Standard	WD	Wood
		DEPT	Department	FFS	Floor Finish Separation	HORIZ	Horizontal			R	Radius	STOR	Storage	WDW	Window
BD	Board	DET	Detail	FHC	Fire Hose Cabinet	HR	Hour			RAD	Radius	STRUC	Structural	WH	Water Heater
BITUM	Bituminous	DF	Drinking Fountain	FIN	Finish	ID	Inside Diameter (Dim)	OA	Overall	RB	Resilient Base	STRUC	Structure	W/O	Without
BLK	Block	DIA	Diameter	FIXT	Fixture	IN	Inch	OBS	Obscured	RD	Roof Drain	SURR	Surround	WO	Where Occurs
BLKG	Blocking	DIAG	Diagram	FL	Floor	INCL	Inclusive, Included or Including	OC	On Center	REC	Recessed	SUSP	Suspended	WP	Waterproof
BLDG	Building	DIM	Dimension	FLASH	Flashing	INSUL	Insulation	OD	Outside Diameter (Dim)	REF	Reference	SVC	Service	WR	Water Resistant
BM	Beam	DISP	Dispenser	FLDG	Folding	INT	Interior	OFCI	Owner Furnished - Contractor	REFR	Refrigerator	SYM	Symmetrical	WSCT	Wainscot
BOT	Bottom	DN	Down	FLUOR	Fluorescent	INV	Invert	OFI	Owner Furnished - Owner	REQ	Required	SYS	System	WSP	Wet Standpipe
BRKT	Bracket	DR	Door	FOC	Face of Concrete	JAL	Jalousie	OFF	Installed	REIN	Reinforced or Reinforcing			WT	Weight
B/B/F UNIT	Box/Box/File Unit	DS	Downspout	FOF	Face of Finish	JAN	Janitor	OPNG	Office	RESIL	Resilient			WWF	Welded Wire Fabric
		DGP	Dry Standpipe	FOM	Face of Masonry	JB	Junction Box	OPP	Opposite	RGTR	Register	TE	Towel Bar		
CAB	Cabinet	DWG	Drawing	FOS	Face of Stud, Slab or Structure	JST	Joist	OVHD	Overhead	REV	Revised, Revision or Reversed	TEL	Telephone		
CB	Catch Basin	DWR	Drawer	FR	Frame					RFG	Roofing	TEMP	Tempered		
CEM	Cement			FRT	Fire Retarded Wood					RH	Robe Hook	TER	Terrazzo		
CEMFLAS	Cement Plaster			FS	Full Size or Floor Sink					RM	Room	T & G	Tongue and Groove		
CER	Ceramic	EA	Each	FT	Foot or Feet	L	Length or Long			RND	Round	THK	Thick or Thickness		
CI	Cast Iron	EFIS	Exterior Finish System	FTG	Footing	LAM	Laminate or Laminated			RO	Rough Opening	THR	Threshold		
CJ	Control Joint			FURR	Furring or Furred	LAV	Lavatory			RWD	Redwood	THRU	Through		
CLG	Ceiling	EJ	Expansion Joint	FUT	Future	LB	Pound			RWL	Rain Water Leader				
CLO	Closet	EL	Elevation			LF	Lineal Foot								



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**  
Matuhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817






Bid Set



LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

SIGNATURE

NO.		REVISION
		
		
		
		
		
JOB NO.	—	

SHEET      DATE    SEPT 18 2025

001

2 OF 32 SHTS

TOILET ACCESSORIES MOUNTING HEIGHTS, SYMBOLS, &amp; ABBREVIATIONS

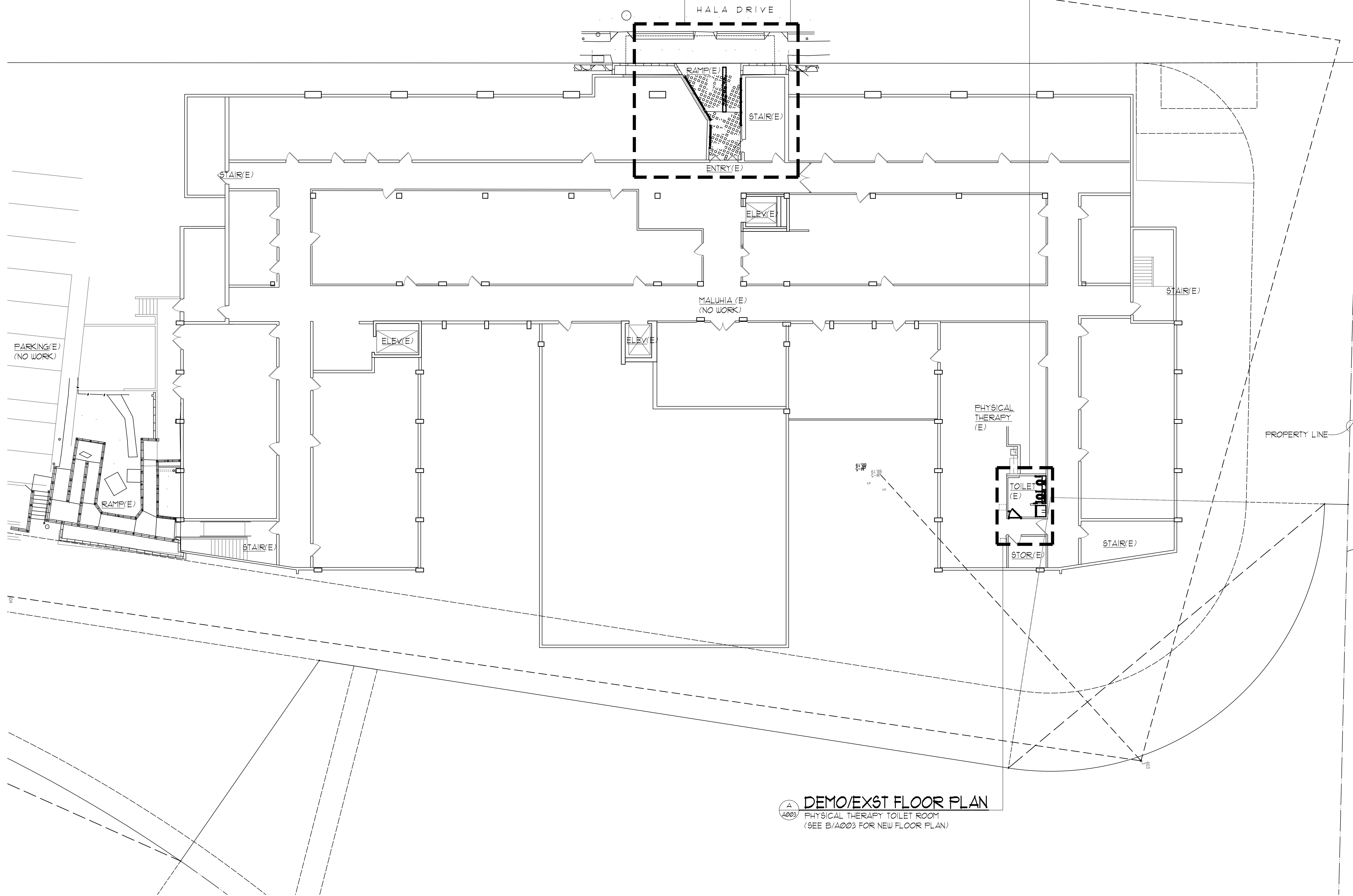
 $3/4" = 1'-0"$



**DEMO FLOOR PLAN**  
ENTRY RAMP  
(SEE B/A002 FOR NEW FLOOR PLAN)

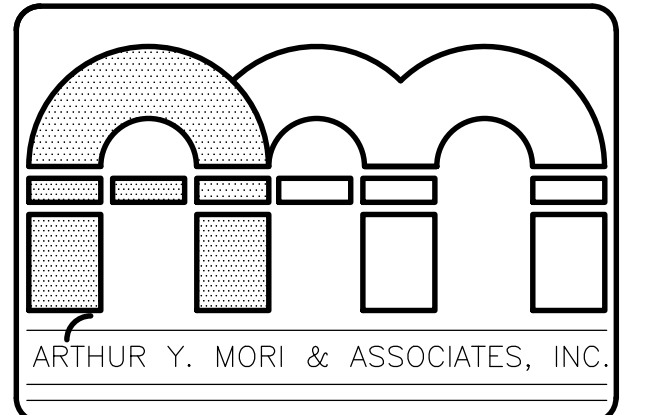
**BASE BID PROJECT AREA**  
(ENTRY RAMP)

**BASE BID PROJECT AREA**  
(PHYSICAL THERAPY TOILET ROOM)



**DEMO/EXST FLOOR PLAN**  
PHYSICAL THERAPY TOILET ROOM  
(SEE B/A003 FOR NEW FLOOR PLAN)

**OVERALL 1ST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

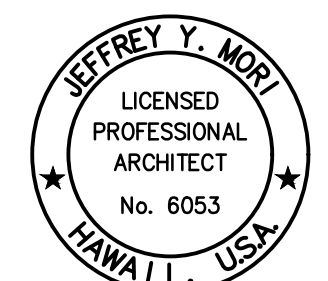
**ADA RENOVATIONS**  
Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TWK: 1-6-009: 004

Bid Set

OVERALL 1ST FLOOR PLAN

SHEET TITLE



LICENSE EXPIRES: 4/30/26  
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

SIGNATURE

NO. REVISION

△	
△	
△	
△	

JOB NO. -

SHEET  
A001  
DATE  
SEPT 18, 2025  
3 OF 32 SHTS

GRAPHIC SCALES 1"



WORK LEGEND

EXISTING WALL PARTITION TO REMAIN

EXISTING WALL PARTITION TO BE REMOVED

NEW WALL PARTITION

EXISTING DOOR TO REMAIN

EXISTING DOOR TO BE REMOVED

NEW DOOR

DEMOLITION WORK NOTES

SYMBOL	DESCRIPTION
1	CAREFULLY SAW CUT & REMOVE EXISTING FLOOR TILE TO EXPOSE CONC SLAB SUBSTRATE
2	REMOVE EXST WALL MTD HANDRAIL - PATCH & PAINT WALL
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

NEW WORK NOTES

SYMBOL	DESCRIPTION
1	NEW WALL MTD HANDRAIL @ +34"H.
2	NEW HANDRAIL @ +34"H. AFF - EMBEDDED IN NEW 6"H. CONCRETE CURB
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	

**DEMO FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**NEW FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**KEY TO INTERIOR ELEVATIONS**

**NORTH ARROW**

BASE BID PROJECT AREA

ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**

Maluhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TWK: 1-6-009: 004

Bid Set

JEFFREY Y. MORI

LICENSED PROFESSIONAL ARCHITECT

No. 6053

HAWAII, USA

LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

SIGNATURE

NO.	REVISION
1	
2	
3	
4	

JOB NO. -

SHEET A002

DATE SEPT 18, 2025

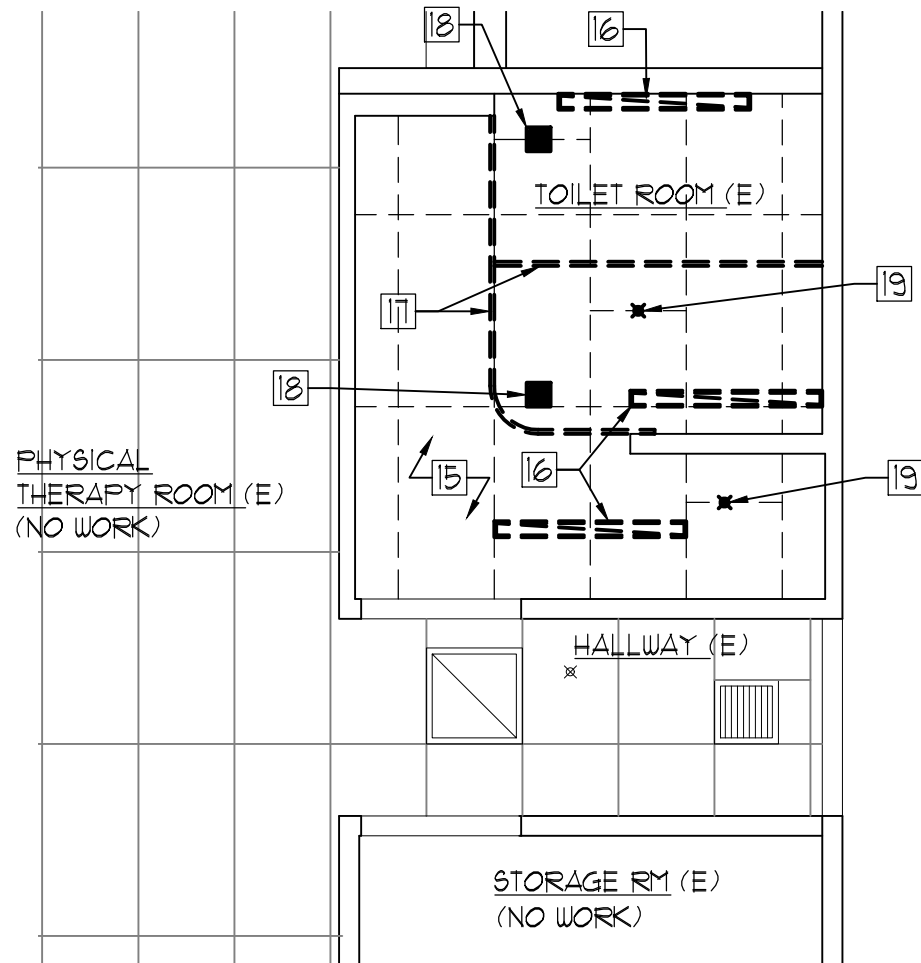
4 OF 32 SHTS



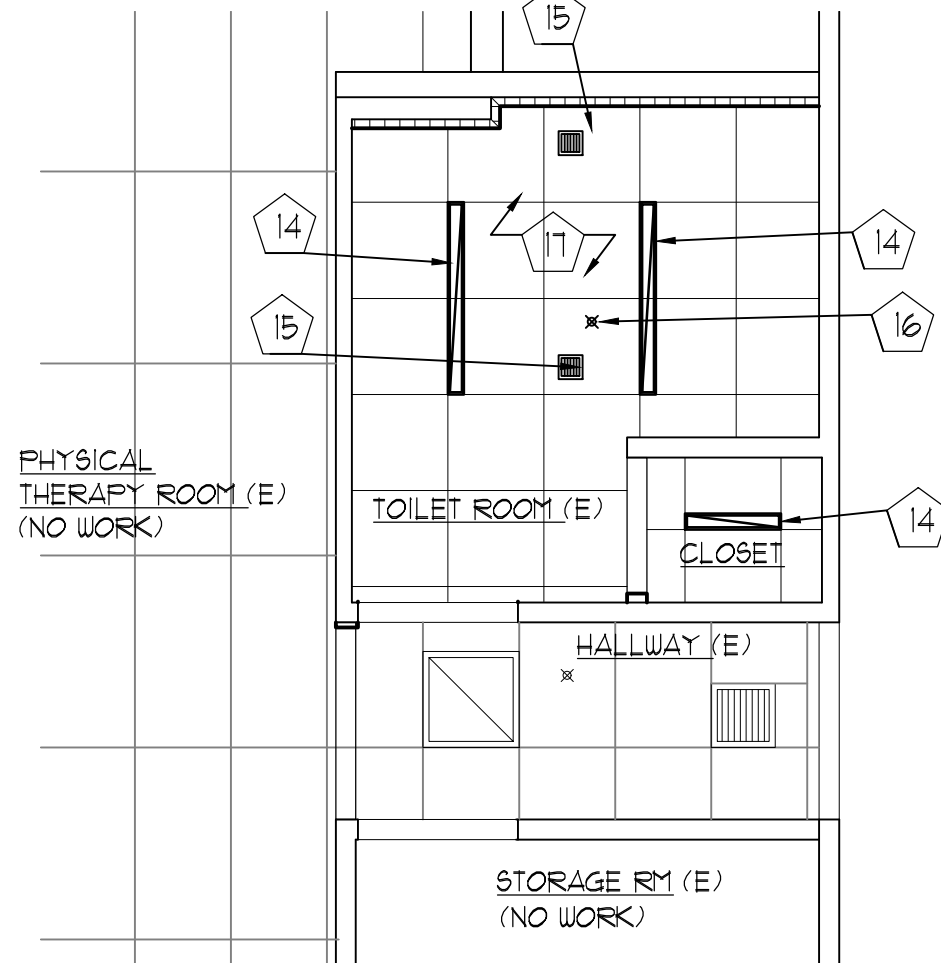
DEMOLITION WORK NOTES	
SYMBOL	DESCRIPTION
[1]	REMOVE WATER CLOSET
[2]	REMOVE GRAB BAR
[3]	REMOVE TOILET PAPER DISPENSER
[4]	REMOVE & RELOCATE LIGHT SWITCH
[5]	REMOVE TOILET SEAT DISPENSER
[6]	NURSE CALL TO REMAIN
[7]	REMOVE NURSE CALL
[8]	REMOVE EXISTING MOP SINK
[9]	REMOVE SHELVES ABOVE
[10]	REMOVE VCT FLOORING
[11]	EXISTING HOOKS ABOVE TO REMAIN
[12]	REMOVE PORTION OF WALL AS NECESSARY FOR NEW PLUMBING & BACKING
[13]	REMOVE WALL TILE
[14]	EXISTING LVT FLOORING TO REMAIN
[15]	REMOVE ACOUSTIC CEILING TILES & GRID, TYP.
[16]	REMOVE EXISTING SURFACE MOUNTED LIGHT FIXTURES
[17]	REMOVE CEILING CURTAIN TRACK
[18]	REMOVE & RELOCATE EXISTING EXHAUST AIR REGISTER
[19]	REMOVE FIRE SPRINKLER HEAD
[20]	

NEW WORK NOTES	
SYMBOL	DESCRIPTION
[1]	NEW LAVATORY &/ NEW SOLID SURFACE WALL PANEL - SEE INTERIOR ELEVATIONS
[2]	NEW GRAB BAR w/ BACKING IN WALL
[3]	RELOCATED TOILET SEAT DISPENSER
[4]	NEW SHEET VINYL FLOORING
[5]	NEW SOAP DISPENSER
[6]	NEW PAPER TOWEL DISPENSER
[7]	NEW 24" x 36" MIRROR
[8]	NEW TOILET PAPER DISPENSER
[9]	RELOCATED LIGHT SWITCH
[10]	NEW WATER CLOSET
[11]	NEW SOLID SURFACE WAINSCOT, TYP. - SEE INTERIOR ELEVATIONS
[12]	PATCH DRYWALL & PAINT WALL
[13]	NOT USED
[14]	NEW RECESSED LINEAR LIGHT FIXTURE
[15]	RELOCATED EXHAUST AIR REGISTER
[16]	NEW FIRE SPRINKLER HEAD
[17]	NEW ACOUSTIC CEILING TILE & GRID
[18]	

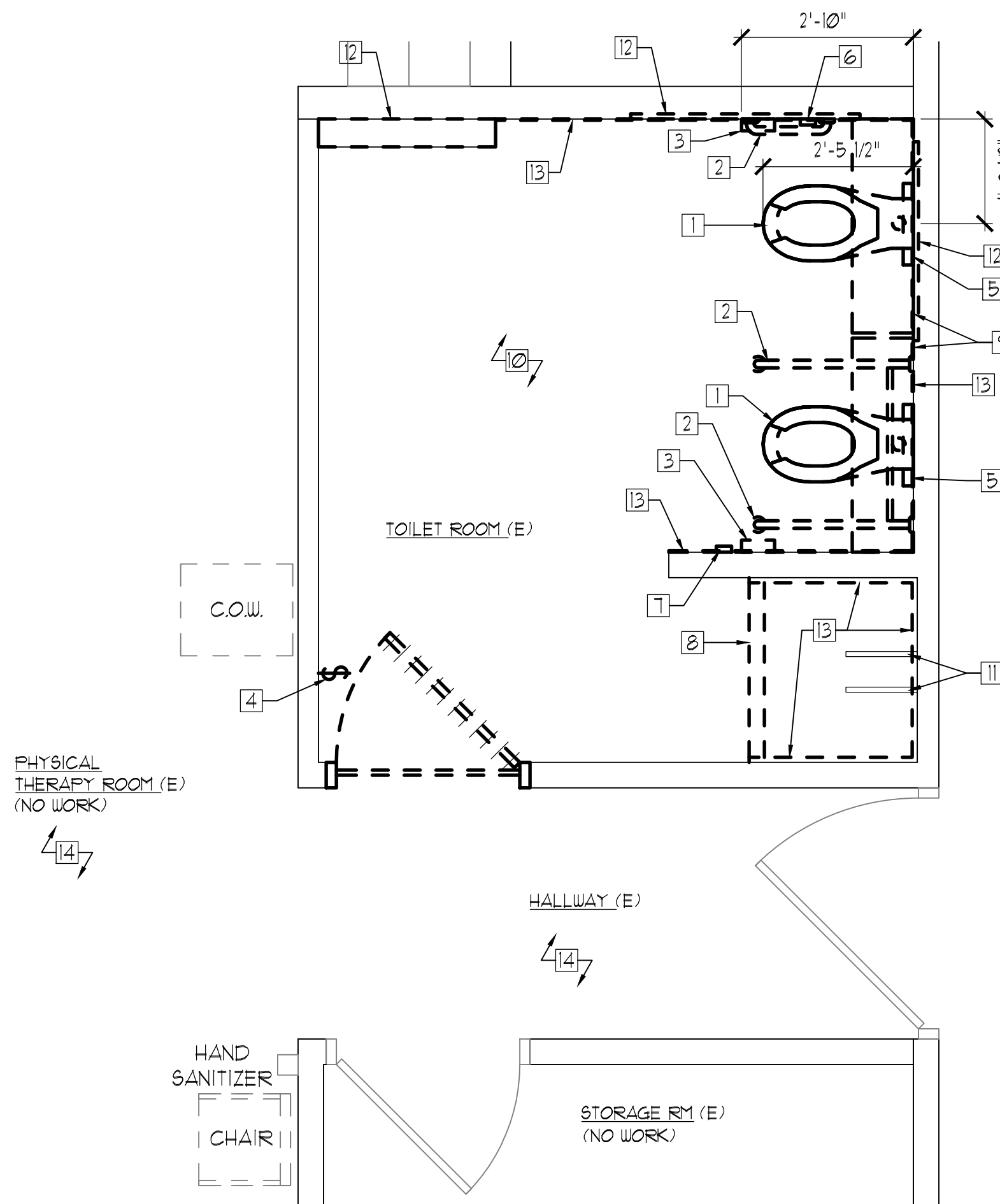
WORK LEGEND			
[Symbol]	EXISTING WALL PARTITION TO REMAIN	[Symbol]	EXISTING CEILING FIXTURE TO REMAIN
[Symbol]	EXISTING WALL PARTITION TO BE REMOVED	[Symbol]	EXISTING CEILING FIXTURE TO BE REMOVED
[Symbol]	NEW WALL PARTITION	[Symbol]	NEW CEILING FIXTURE
[Symbol]	EXISTING DOOR TO REMAIN	[Symbol]	RELOCATED EXISTING CEILING FIXTURE
[Symbol]	EXISTING DOOR TO BE REMOVED		
[Symbol]	NEW DOOR		



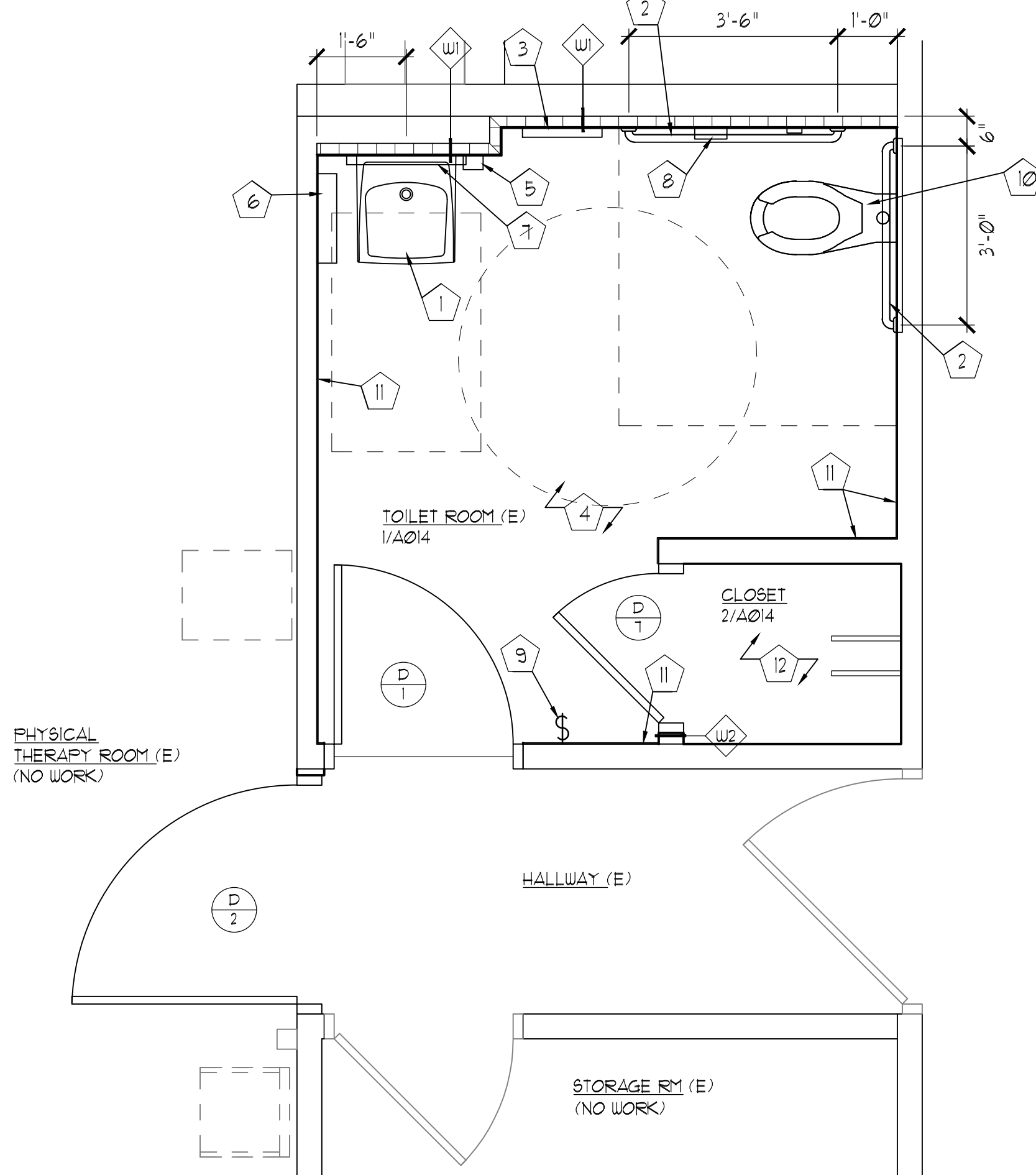
**DEMOL/ EXST CEILING PLAN**  
SCALE: 1/4"= 1'-0" (1st Floor - Physical Therapy Room)



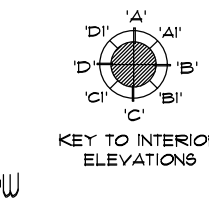
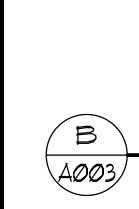
**NEW CEILING PLAN**  
SCALE: 1/4"= 1'-0" (1st Floor - Physical Therapy Room)



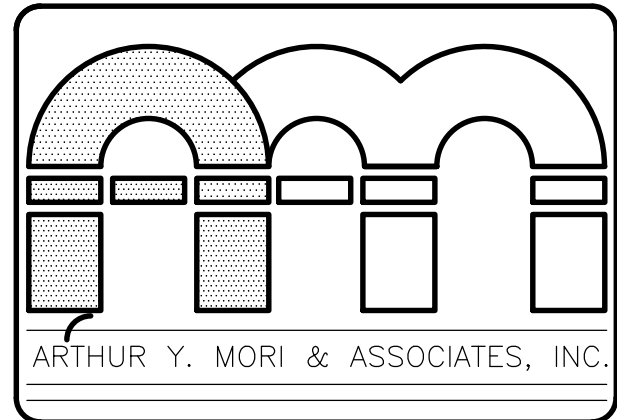
**DEMOL/ EXST FLOOR PLAN**  
SCALE: 1/2"= 1'-0" (1st Floor - Physical Therapy Room)



**NEW FLOOR PLAN**  
SCALE: 1/2"= 1'-0" (1st Floor - Physical Therapy Room)



- GENERAL NOTES:**
- SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
  - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
  - REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
  - CUT TILE & PATCH HOLES IN WALL AS NEEDED.



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**  
Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

Bid Set

PHYSICAL THERAPY TOILET ROOM FLOOR AND CEILING PLANS - 1ST FLOOR

TWK: 1-6-009-004

**JEFFREY Y. MORI**  
LICENSED PROFESSIONAL ARCHITECT  
No. 6053  
HAWAII, USA

LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

SIGNATURE

NO.	REVISION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	

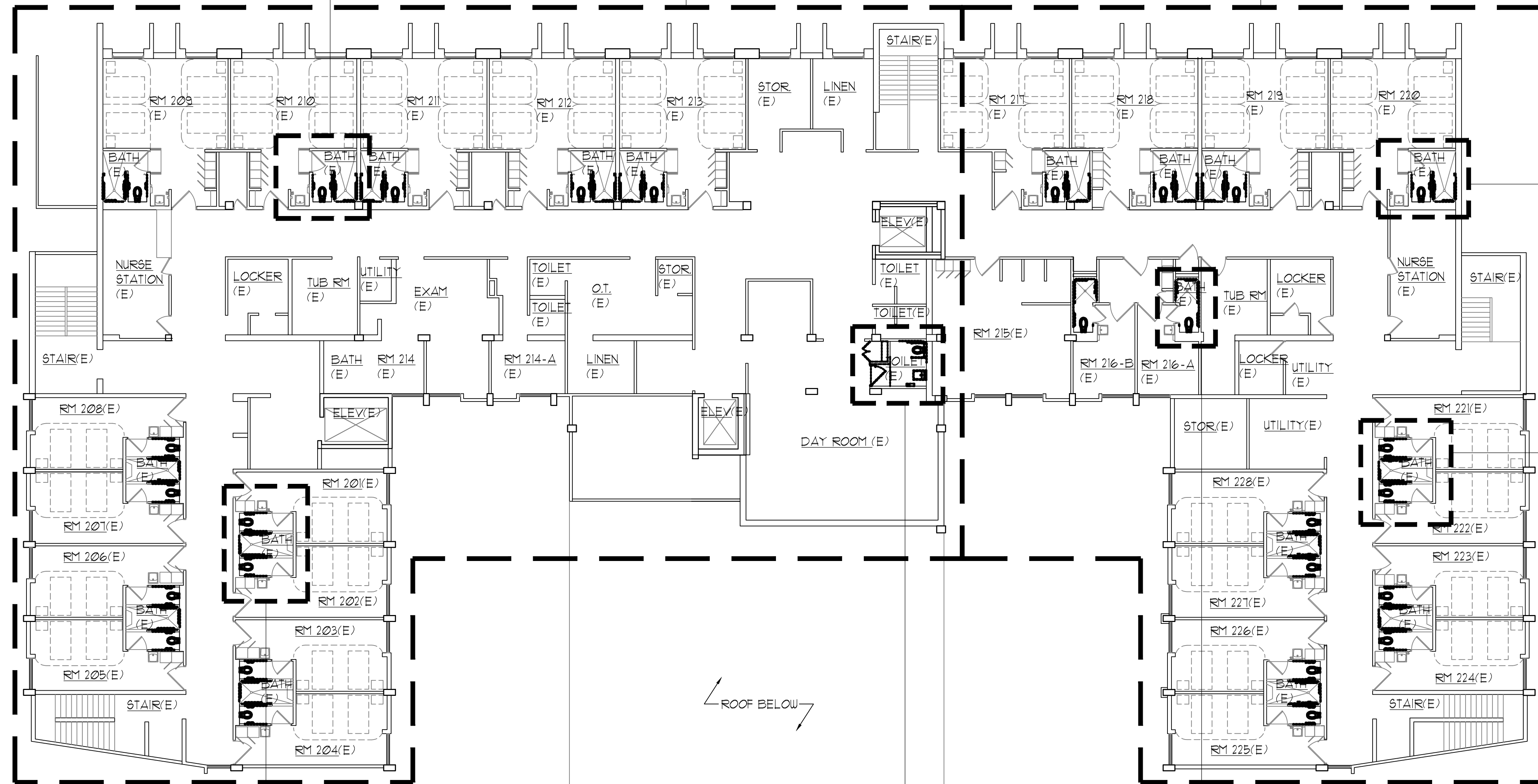
JOB NO. -

SHEET A003 DATE SEPT 18, 2025

5 OF 32 SHTS



**B DEMO/EXST FLOOR PLAN**  
TYPICAL OF ROOMS 209, 210, 211, 212, & 213  
(SEE B/A006 FOR NEW FLOOR PLAN)



**B DEMO/EXST FLOOR PLAN**  
TYPICAL OF ROOMS 217, 218, 219, & 220  
(SEE B/A008 FOR NEW FLOOR PLAN)

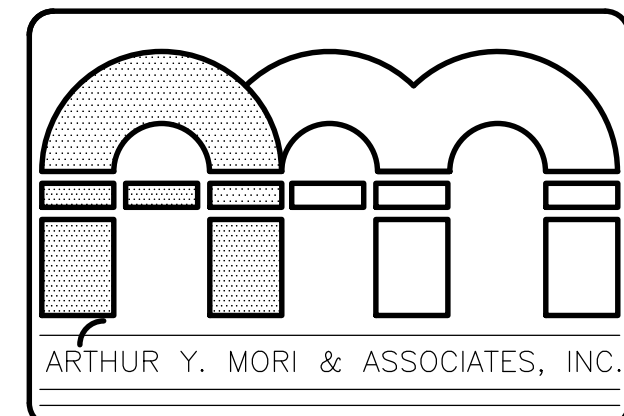
**C DEMO/EXST FLOOR PLAN**  
TYPICAL OF ROOMS 221, 222, 223, 224, 225, 226, 227, & 228  
(SEE C/A008 FOR NEW FLOOR PLAN)

**A DEMO/EXST FLOOR PLAN**  
TYPICAL OF ROOMS 316-A & 316-B  
(SEE A/A008 FOR NEW FLOOR PLAN)

**C DEMO/EXST FLOOR PLAN**  
TYPICAL OF ROOMS 201, 202, 203, 204, 205, 206, 207, & 208  
(SEE C/A006 FOR NEW FLOOR PLAN)

**A DEMO/EXST FLOOR PLAN**  
DAY ROOM TOILET  
(SEE A/A006 FOR NEW FLOOR PLAN)

**A OVERALL 2ND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

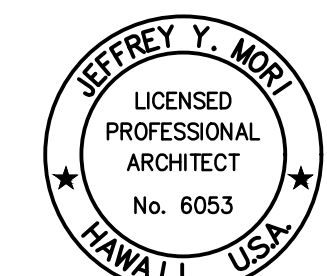
**ADA RENOVATIONS**

Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TWK: 1-6-009: 004

Bid Set

SHEET TITLE  
OVERALL 2ND FLOOR PLAN



LICENSE EXPIRES: 4/30/26  
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

SIGNATURE

NO. REVISION

△	
△	
△	
△	

JOB NO. -







SHEET DATE SEPT 18, 2025

A004 6 OF 32 SHTS

3/4" = 1'-0"  
GRAPHIC SCALES 1"



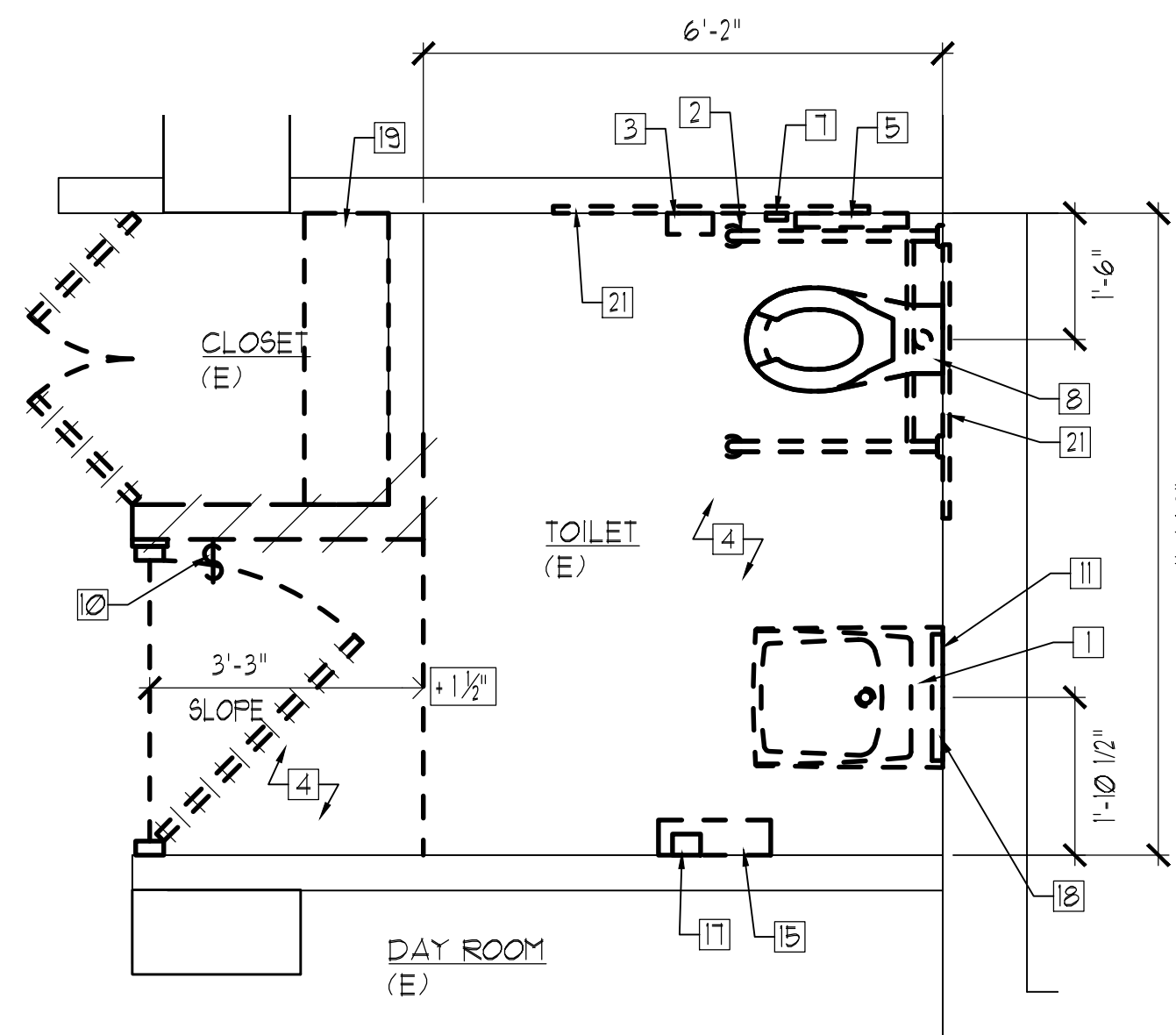
## WORK LEGEND

	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

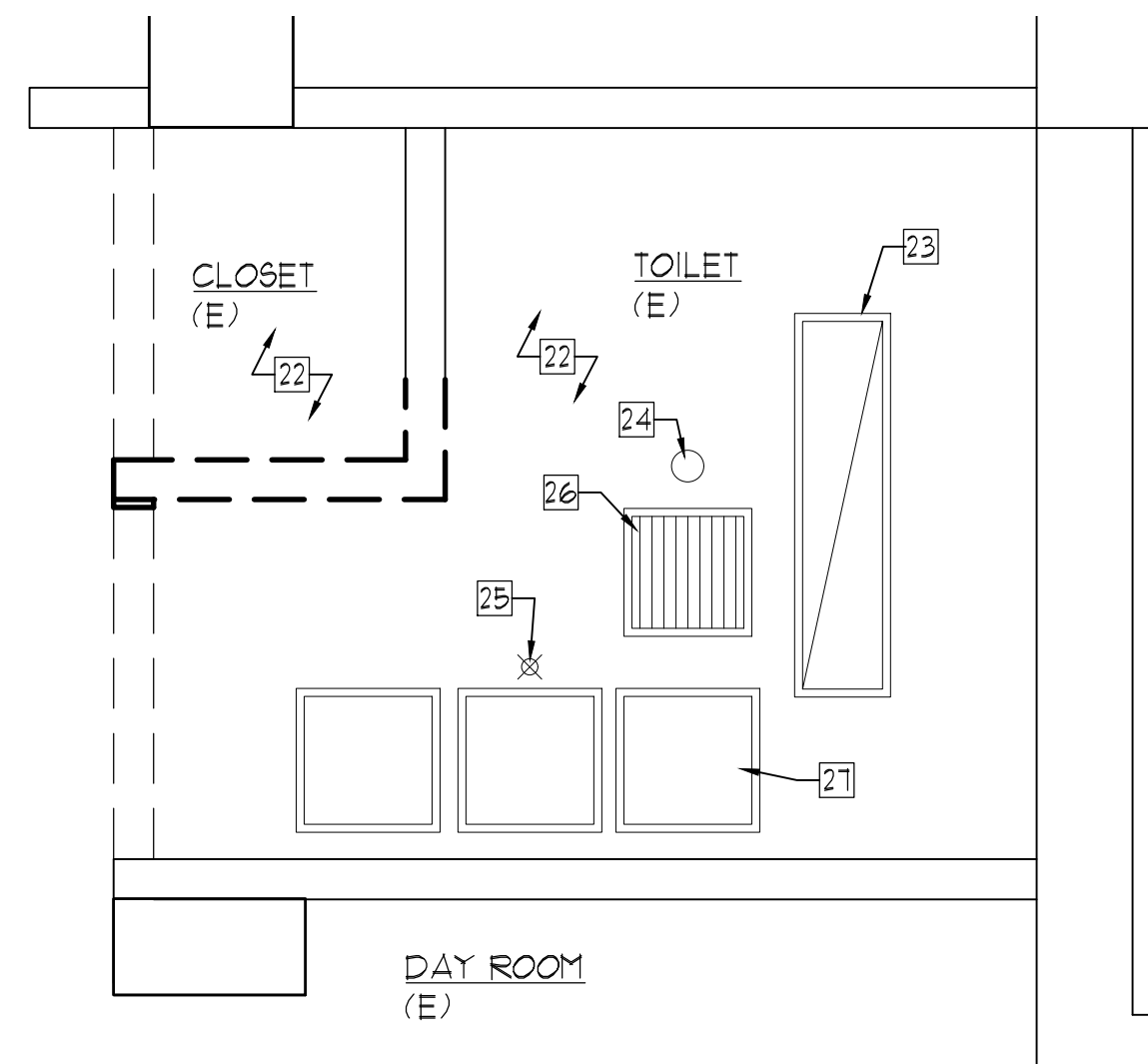
GENERAL NOTES:

1. SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3. REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4. CUT TILE & PATCH HOLES IN WALL AS NEEDED.
5. PREP EXISTING WALL TILE FOR ADHESION BY CLEANING & SANDING GLOSSY TILES. APPLY A PRIMER WHERE NEEDED.

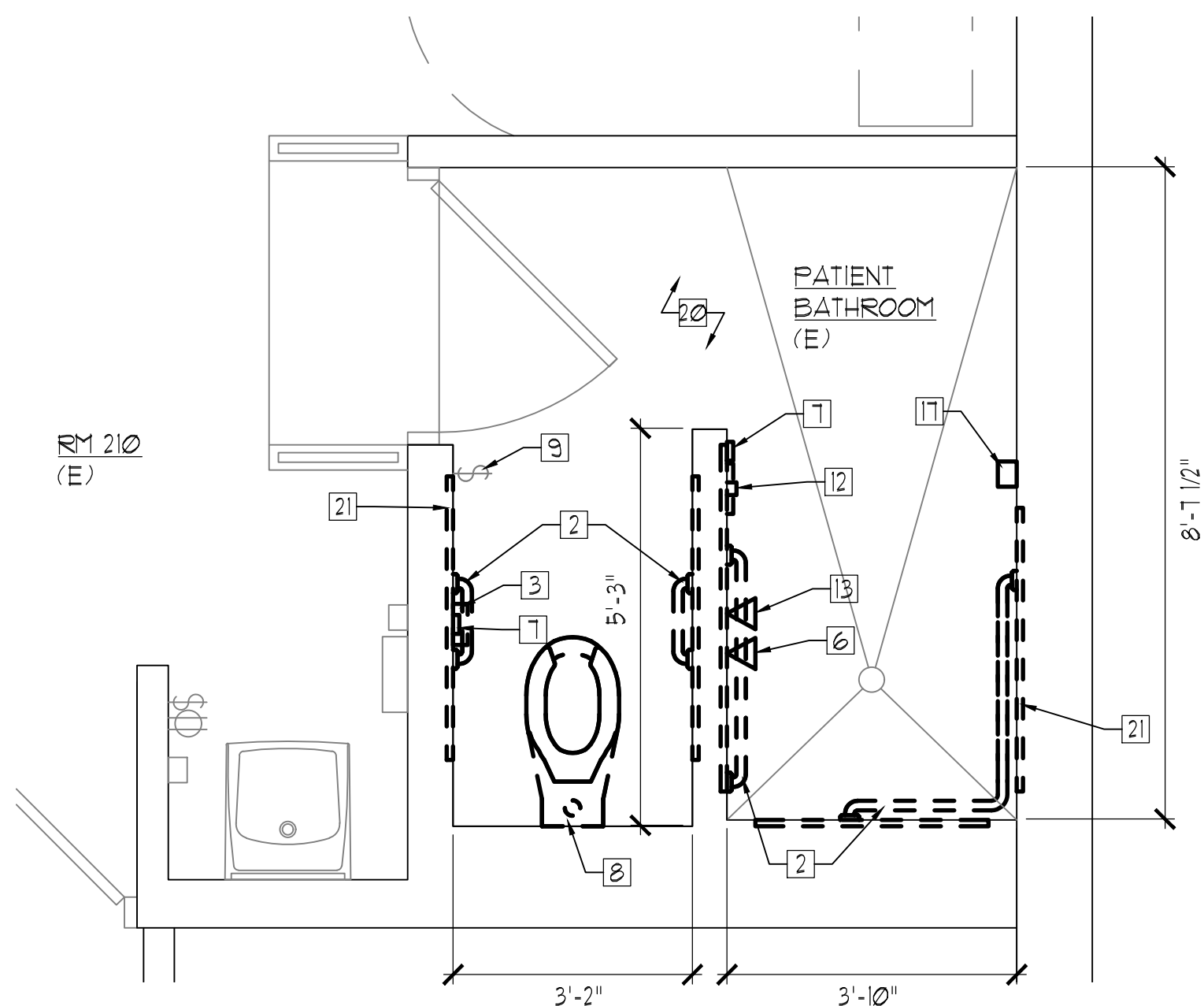
# DEMOLITION WORK NOTES

[illegible]

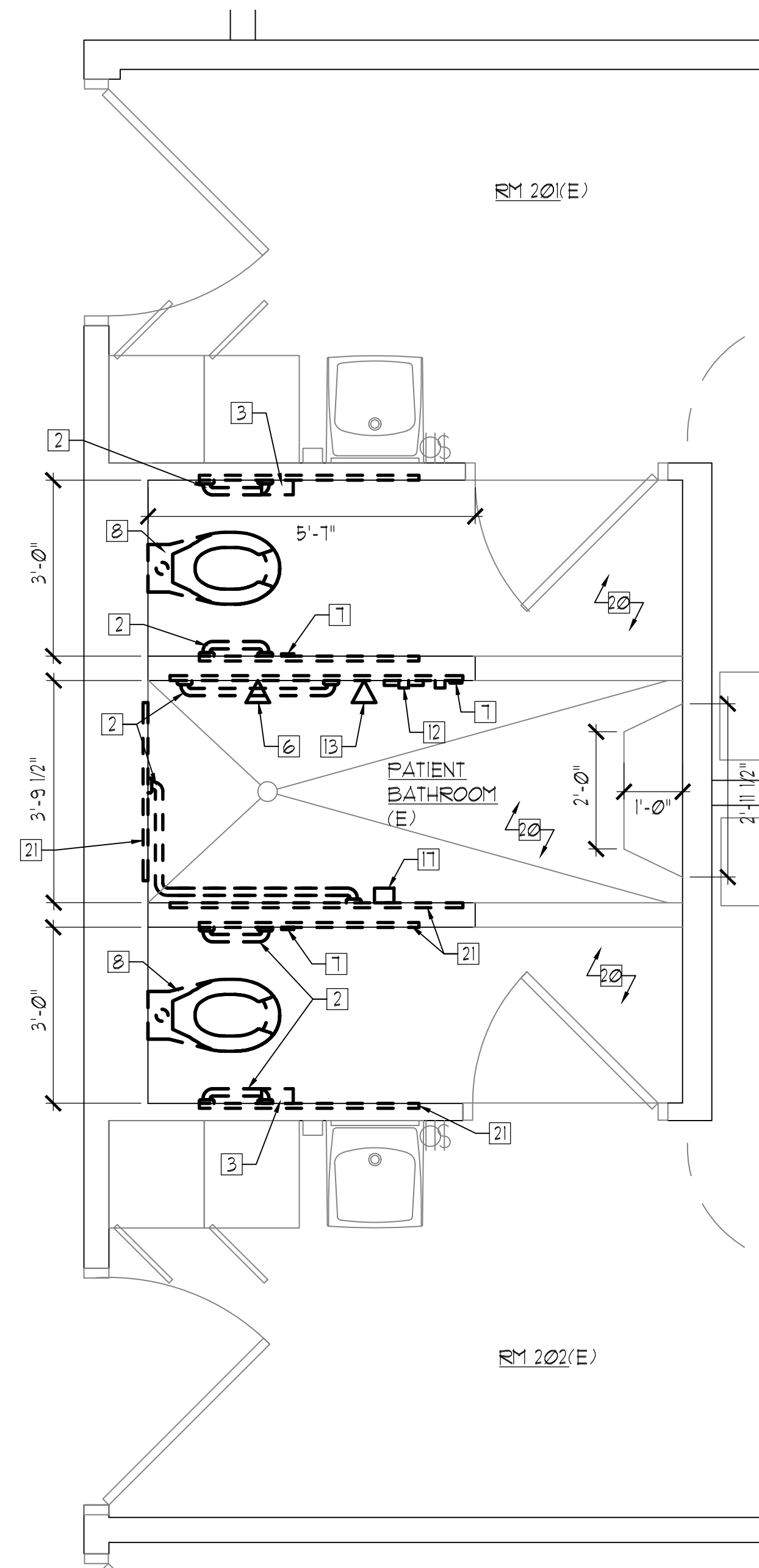
**DEMO/ EXST FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(2nd Floor - Day Room)



**DEMO/ EXST CEILING PLAN**  
SCALE: 1/2" = 1'-0"  
(2nd Floor - Day Room)



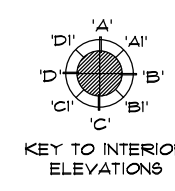
**DEMO/ EXST FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(2nd Floor - Patient Rooms 209, 210, 211, 212, & 213)



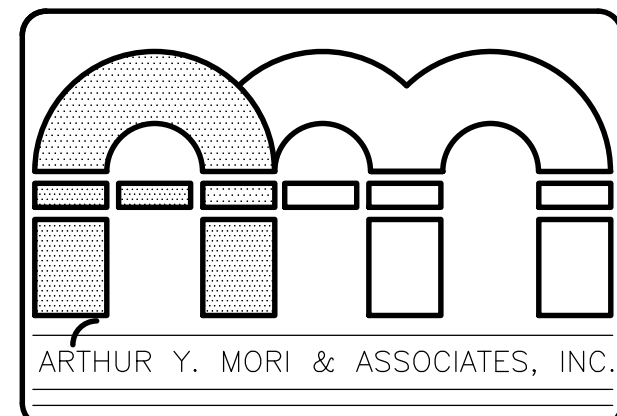
**DEMO/ EXST FLOOR PLAN**

SCALE: 1/2" = 1'-0"

(2nd Floor - Patient Rooms 201, 202, 203, 204, 205, 206, 207, & 208)



BASE BID PROJECT AREA - MAKAI



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

## ADA RENOVATIONS

Maluhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TMK: 1-6-009: 004

EXST/DEMO DAY ROOM AND PATIENT BATHROOM PLANS - 2ND FLOOR








LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

SIGNATURE

NO.		REVISION
-----	--	----------

SHEET

DATE SEPT 18, 2025







A005

7 OF 32 SHTS

 $3/4'' = 1'-0''$



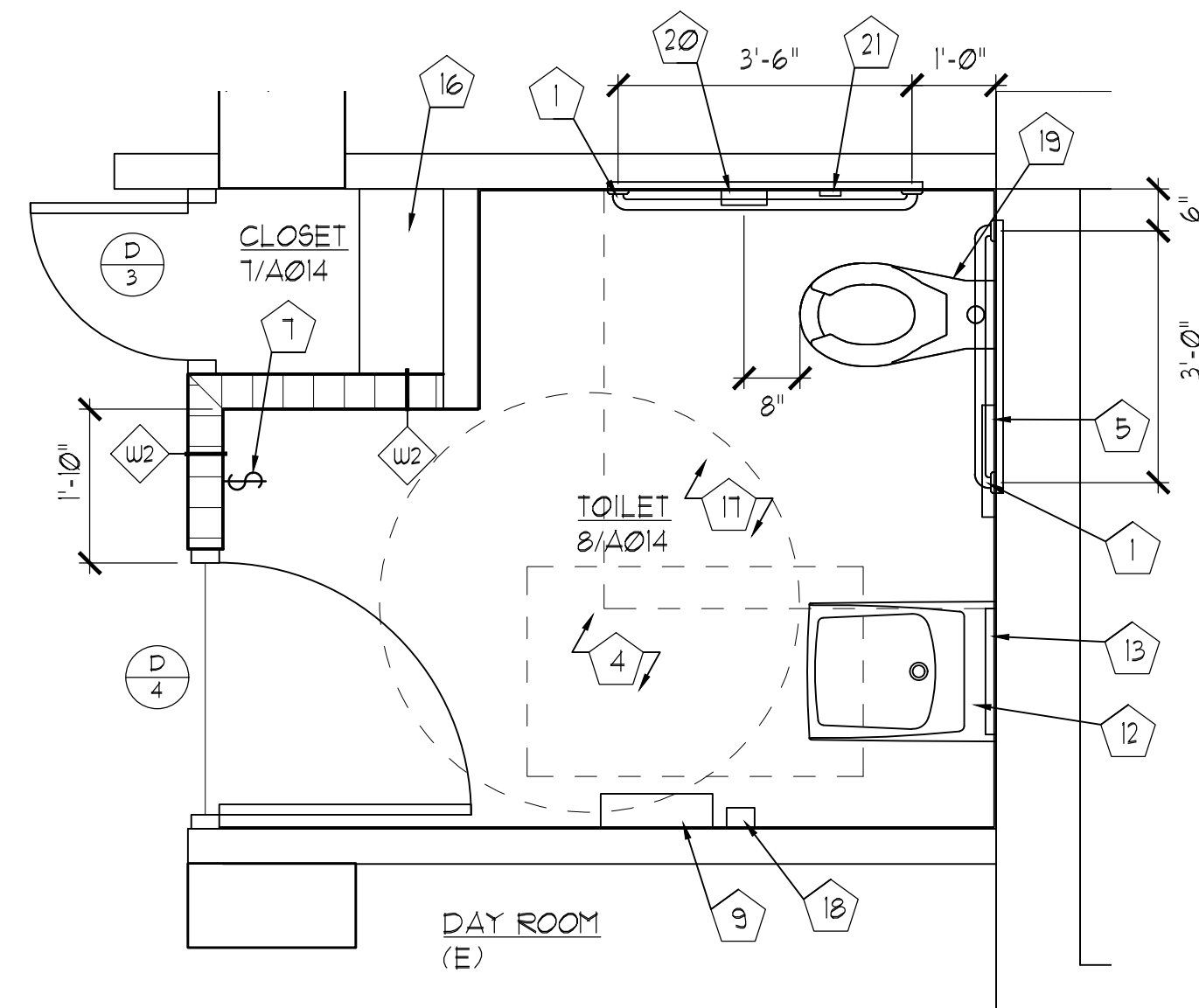
## WORK LEGEND

	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

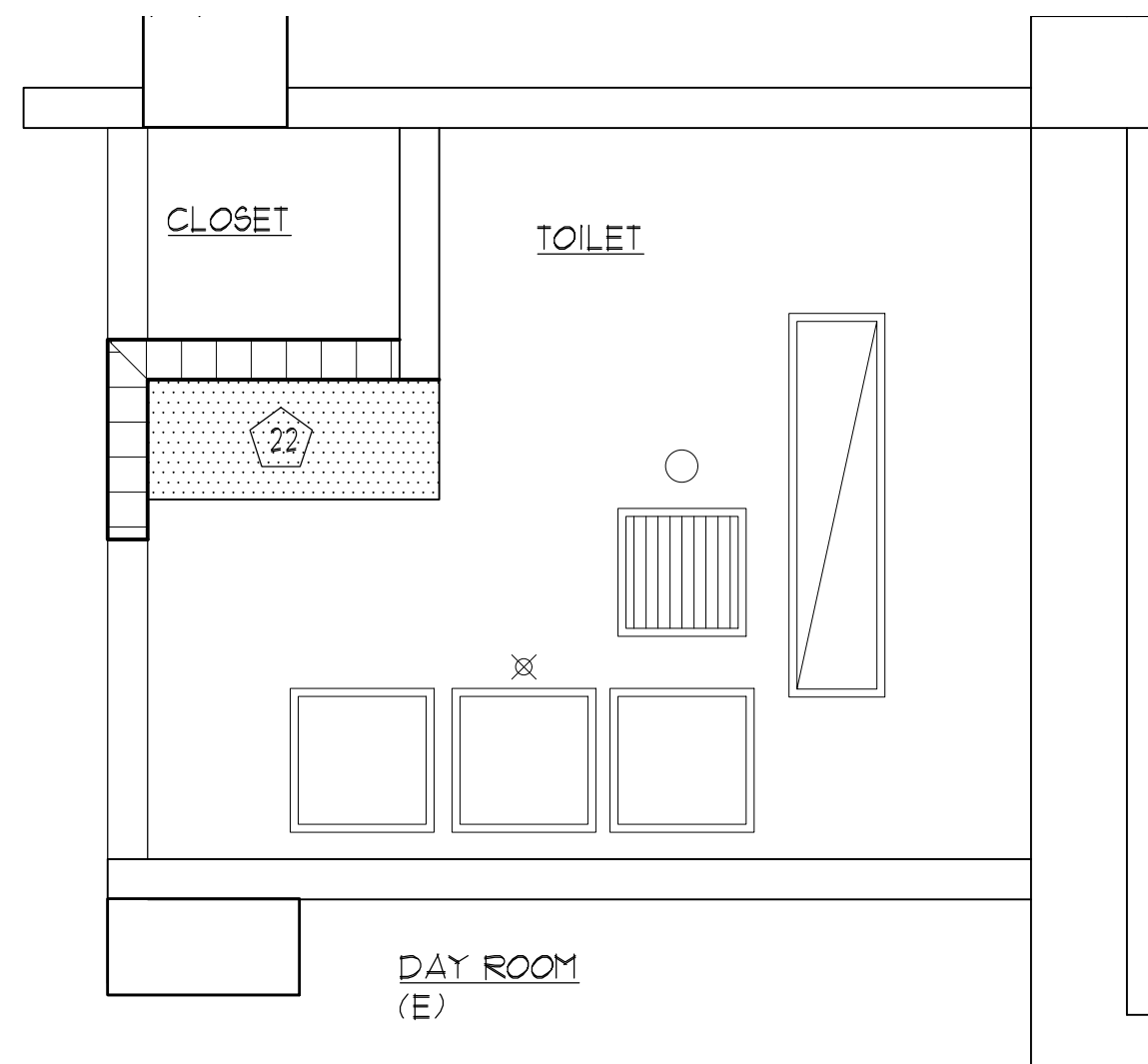
GENERAL NOTES:

1. SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3. REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4. CUT TILE & PATCH HOLES IN WALL AS NEEDED.

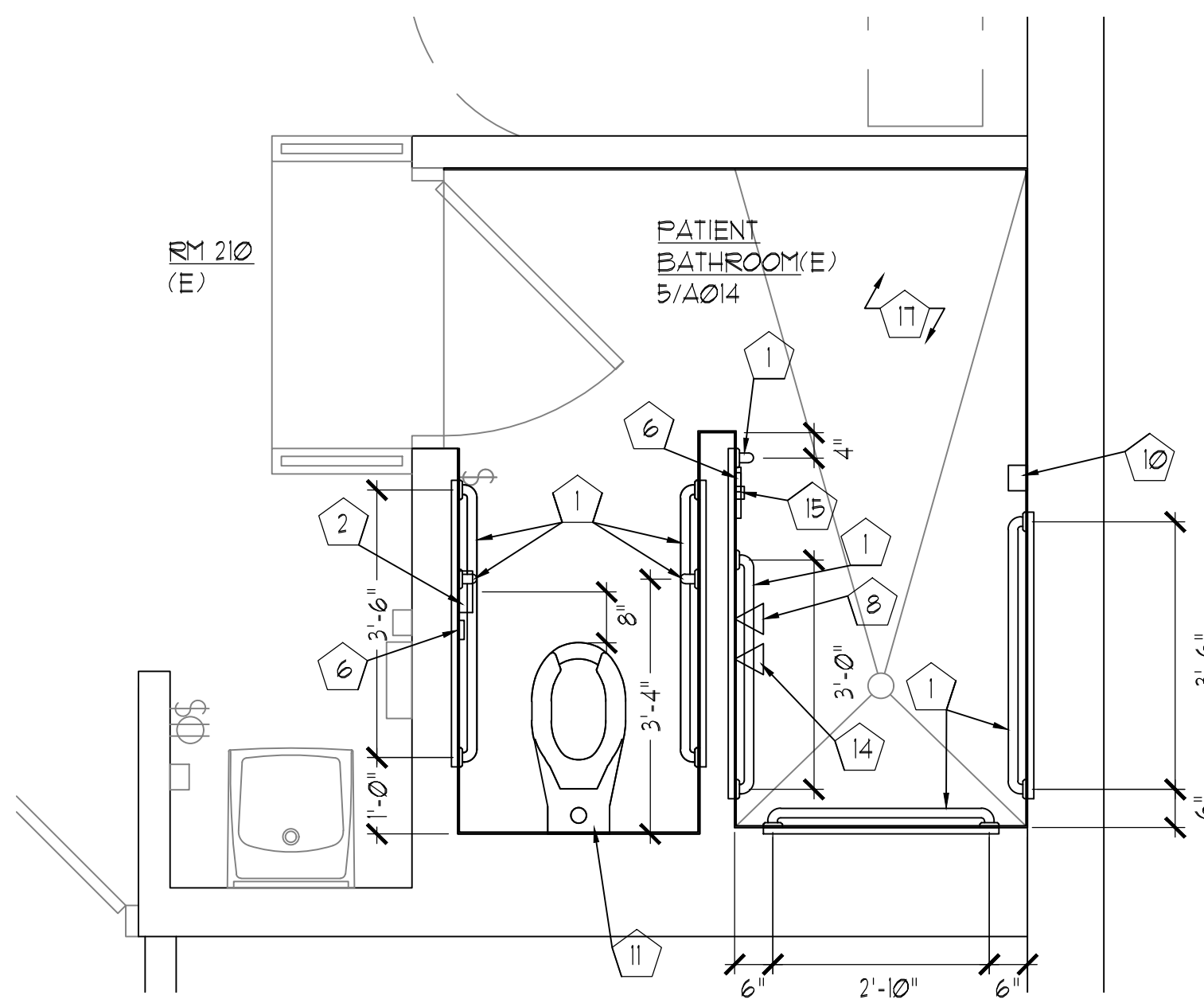
## NEW WORK NOTES

[illegible]

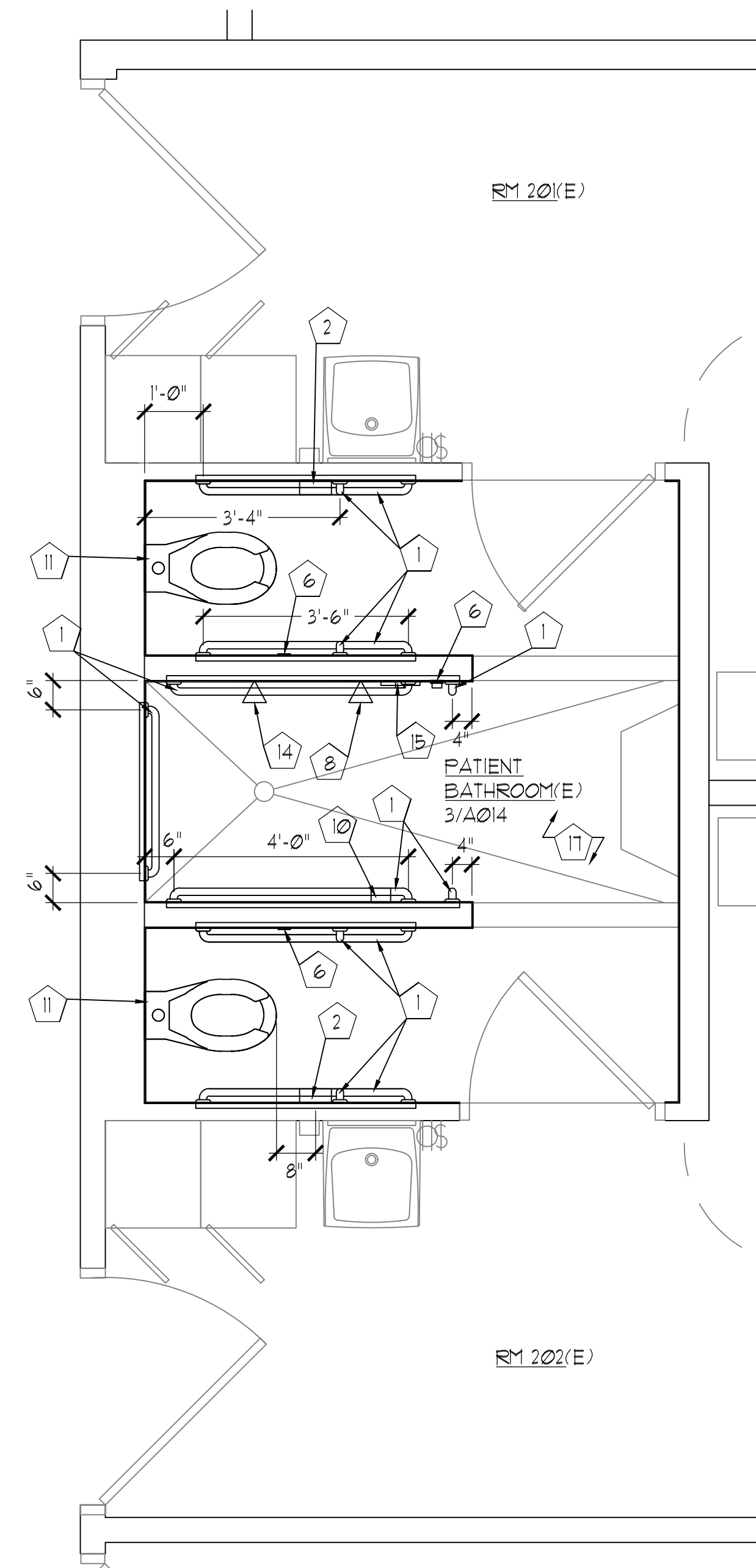
**NEW FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(2nd Floor - Day Room)



**NEW CEILING PLAN**  
SCALE: 1/2" = 1'-0"  
(2nd Floor - Day Room)



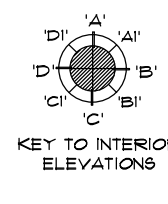
**NEW FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(2nd Floor - Patient Rooms 209, 210, 211, 212, & 213)



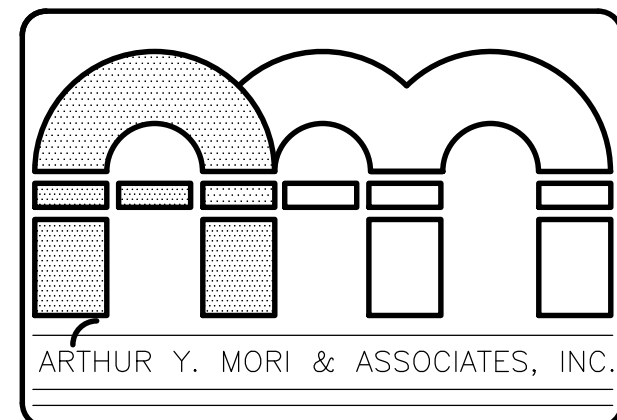
**NEW FLOOR PLAN**

SCALE: 1/2" = 1'-0"

(2nd Floor - Patient Rooms 201, 202, 203, 204, 205, 206, 207, & 208)



BASE BID PROJECT AREA - MAKAI



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**  
Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TMK: 1-6-009: 004

NEW DAY ROOM AND PATIENT BATHROOM PLANS - 2ND FLOOR

Bid Set








LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

SIGNATURE

NO.		REVISION
-----	--	----------







		
		
		
		
		

DATE SEPT 18, 2025

A006 8 OF 32 SHTS



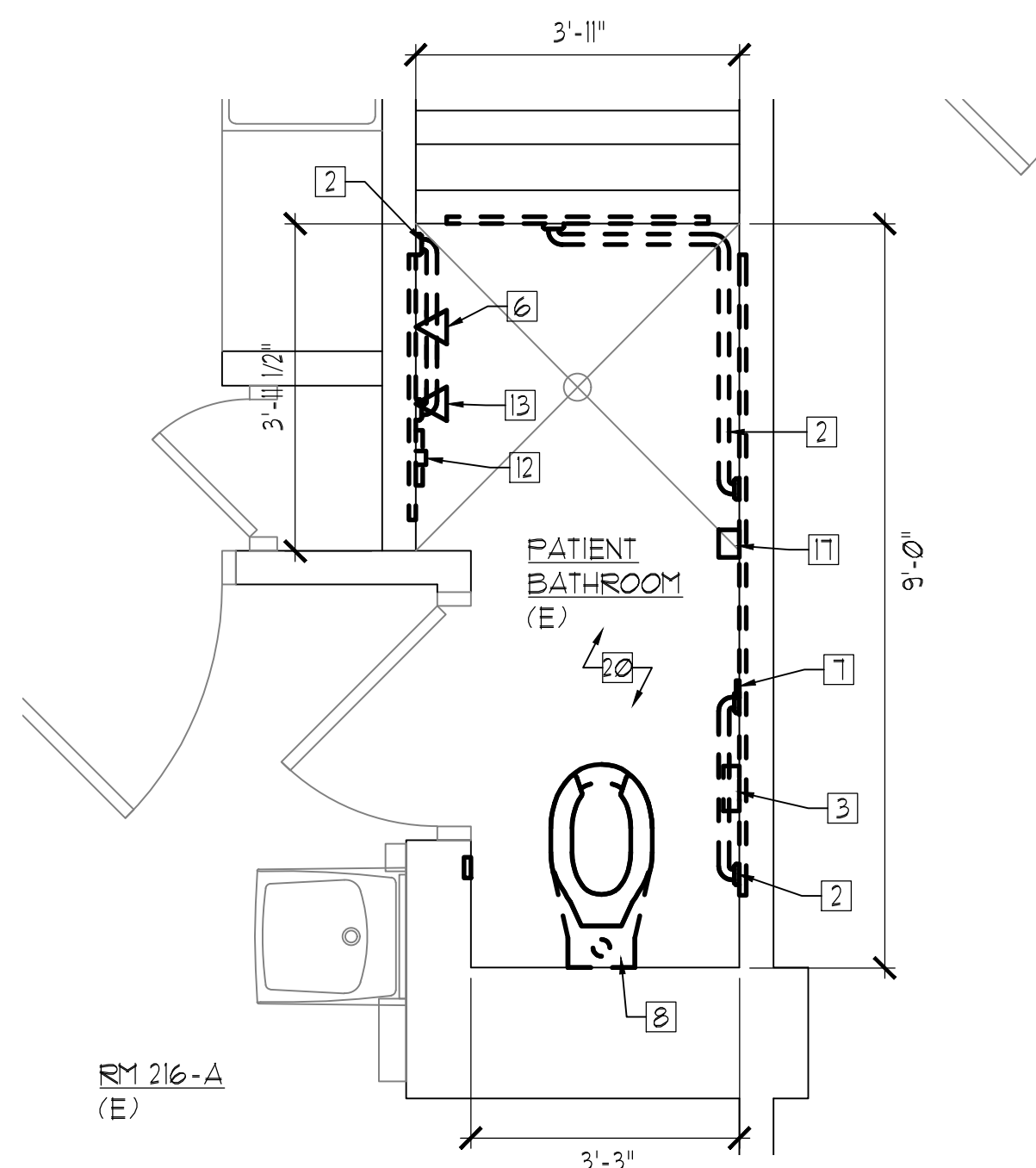
## WORK LEGEND

- |   |                                       |
|---|---------------------------------------|
|   | EXISTING WALL PARTITION TO REMAIN     |
|   | EXISTING WALL PARTITION TO BE REMOVED |
|   | NEW WALL PARTITION                    |
|  | EXISTING DOOR TO REMAIN               |
|  | EXISTING DOOR TO BE REMOVED           |
|  | NEW DOOR                              |

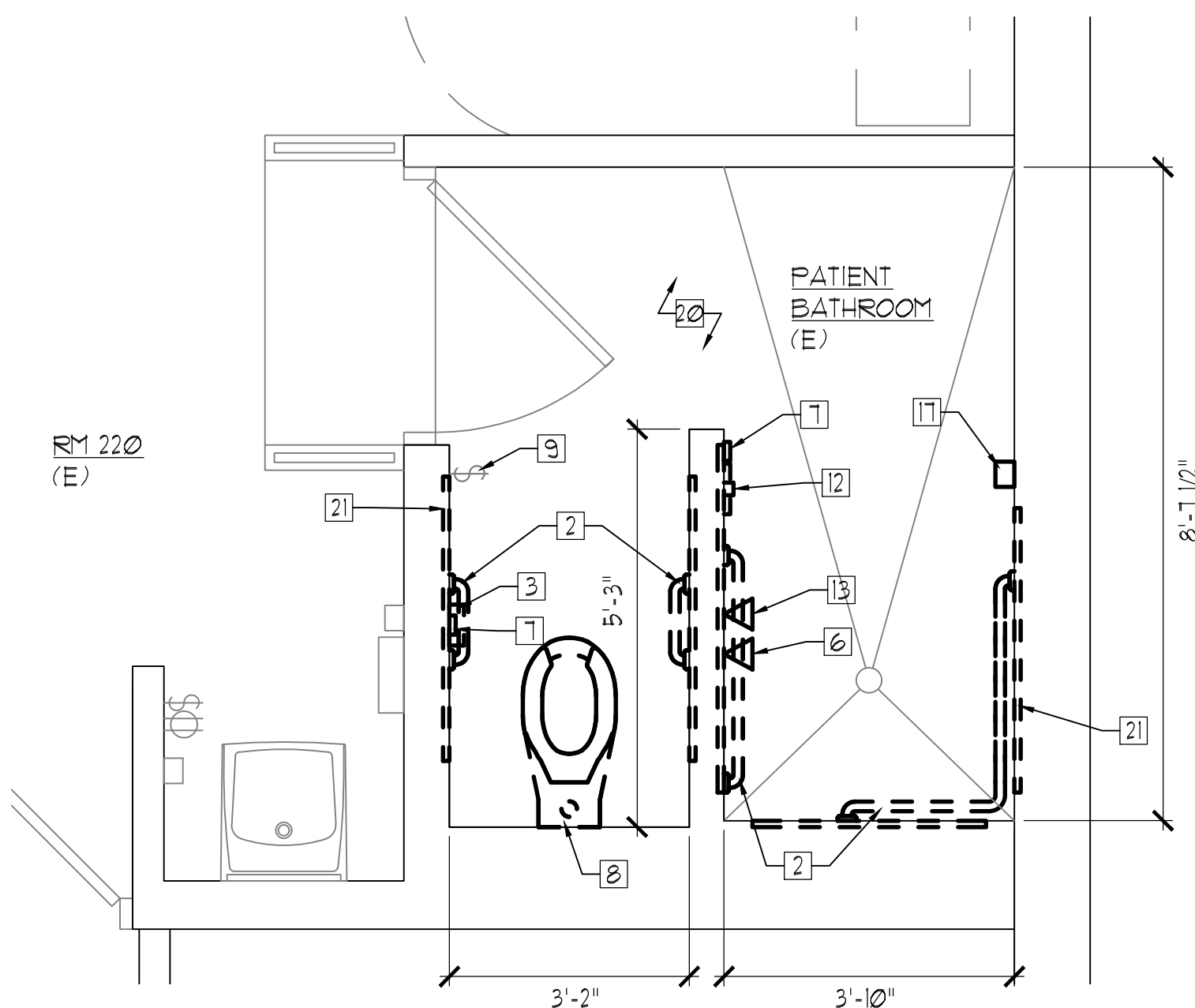
GENERAL NOTES:

1. SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2. REFER TO SHEET LOADINGS REQUIRED FOR ALTOILET FIXTURE # ACCESSORY HEIGHTS.
3. REFER TO SHEET WALLS FOR URINALS REQUIRED FOR ALTOILET FIXTURE # ACCESSORY HEIGHTS.
4. CUT LINE # PATCH HOLES IN WALL AS NEEDED.
5. PREP EXISTING WALL TILE FOR ADHESION BY CLEANING # SANDING GLOSSY TILES. APPLY A PRIMER WHERE NEEDED.

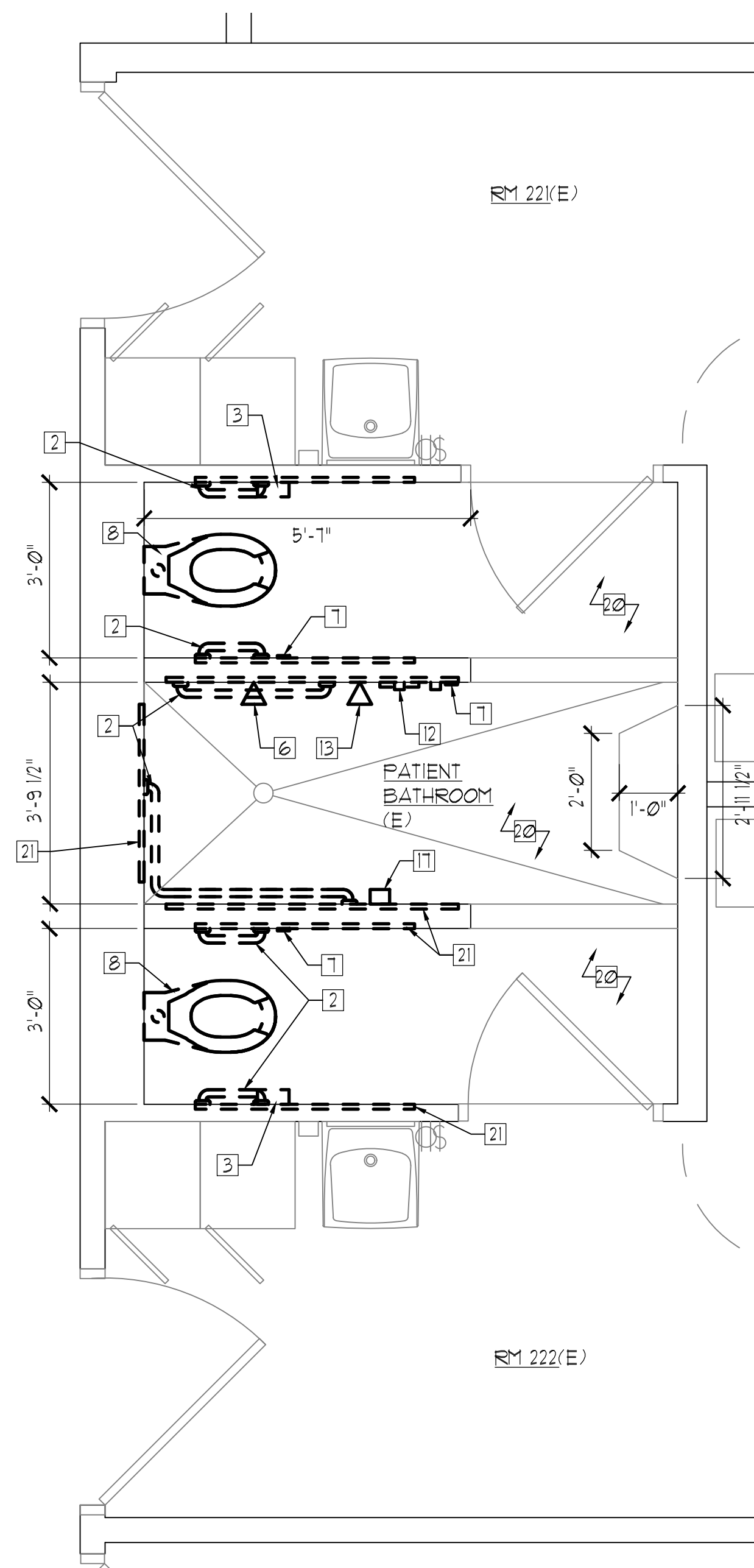
## DEMOLITION WORK NOTES

[illegible]

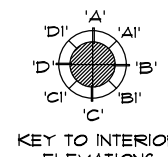
**DEMO/ EXST FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(2nd Floor - Patient Rooms 216-A & 217-B)



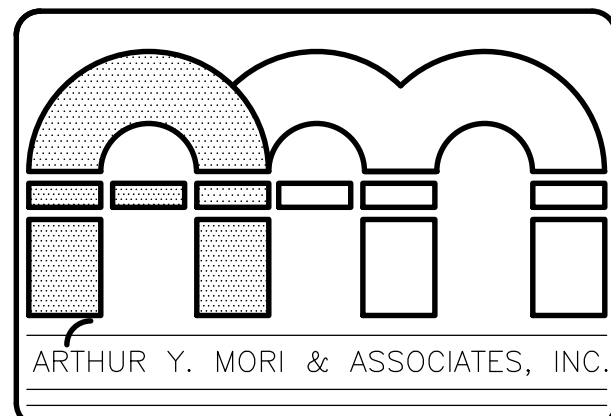
**DEMO/ EXST FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(2nd Floor - Patient Rooms 217, 218, 219, & 220)



**DEMO/ EXST FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(2nd Floor - Patient Rooms 221, 222, 223, 224, 225, 226,  
227, & 228)



ADD ALTERNATE 1 PROJECT AREA - MAUKA



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**  
Matuhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

CMK: 1-6-009: 004

Bid Set

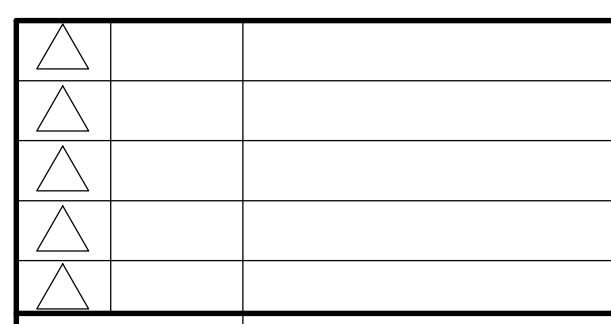


LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

SIGNATURE

NO.	REVISION
-----	----------



JOB NO

DATE SEPT 18, 2025







A007

9 OF 32 SHTS

 $3/4'' = 1'-0''$



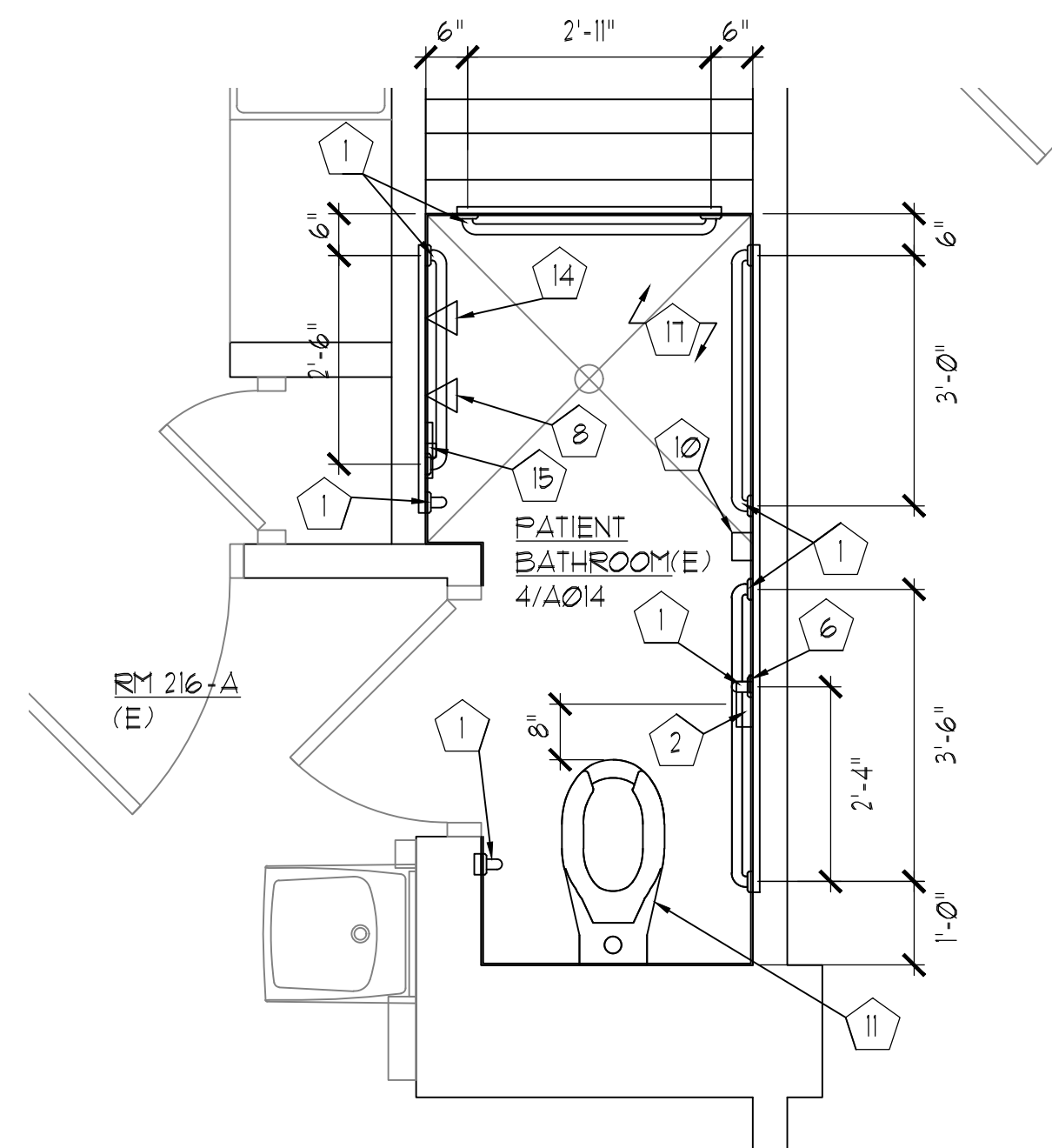
## WORK LEGEND

- |   |                                       |
|---|---------------------------------------|
|   | EXISTING WALL PARTITION TO REMAIN     |
|   | EXISTING WALL PARTITION TO BE REMOVED |
|   | NEW WALL PARTITION                    |
|  | EXISTING DOOR TO REMAIN               |
|  | EXISTING DOOR TO BE REMOVED           |
|  | NEW DOOR                              |

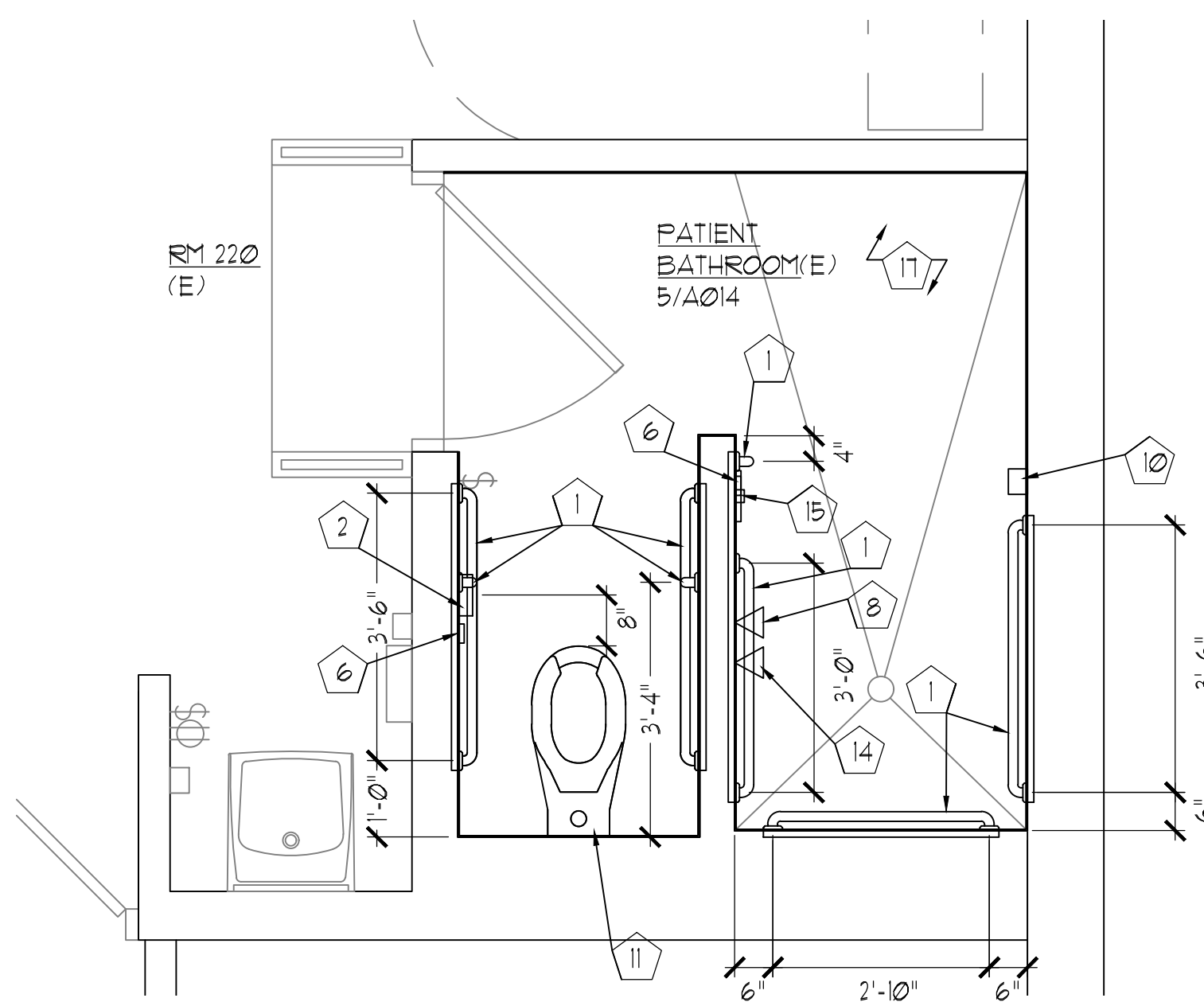
GENERAL NOTES:

1. SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3. REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4. CUT TILE & PATCH HOLES IN WALL AS NEEDED.

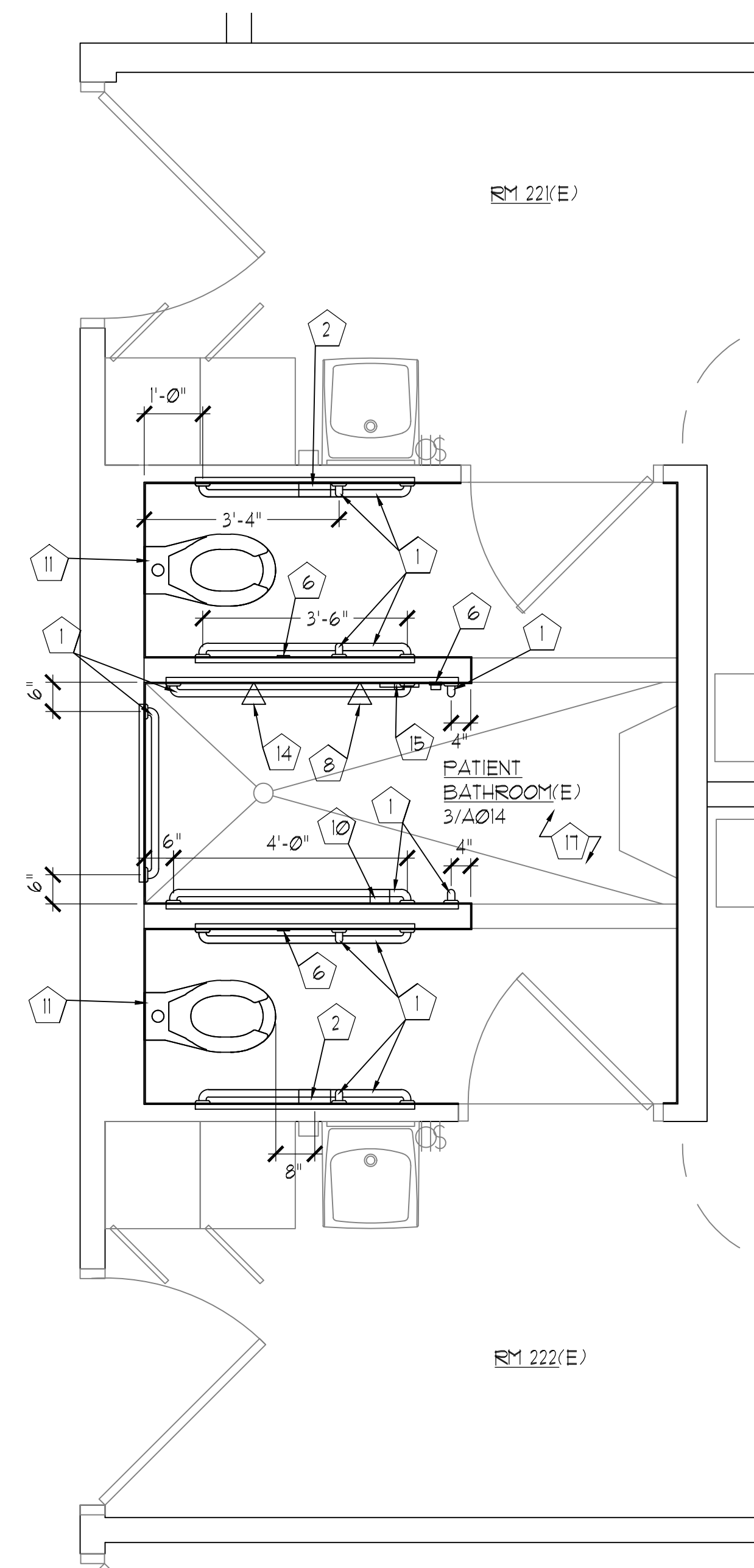
## NEW WORK NOTES

[illegible]

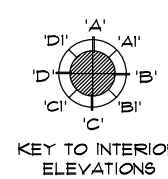
**NEW FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(2nd Floor - Patient Rooms 216-A & 217-B)



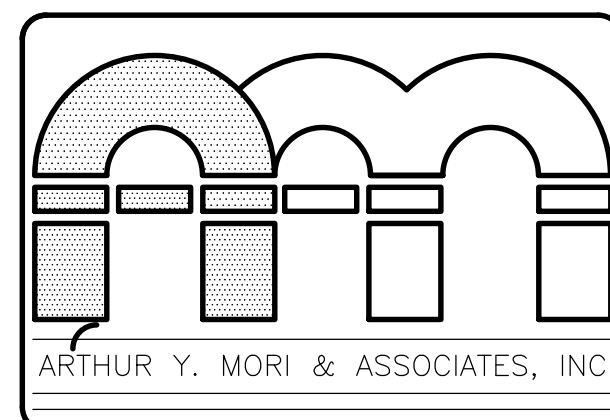
**NEW FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(2nd Floor - Patient Rooms 217, 218, 219, & 220)



**NEW FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(2nd Floor - Patient Rooms 221, 222, 223, 224, 225,  
226, 227, & 228)



ADD ALTERNATE 1 PROJECT AREA - MAUKA

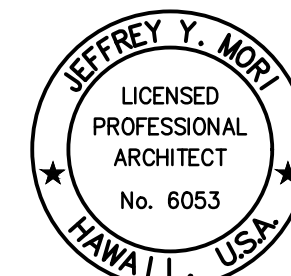


ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**  
Matuhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TMK: 1-6-009: 004

Bid Set

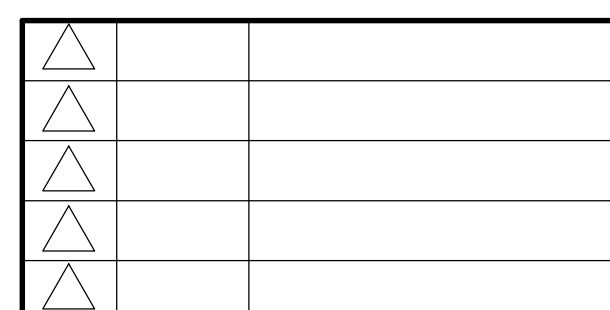


LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

SIGNATURE

REVISION



SHEET

A008

DATE SEPT 18, 2025

10 OF 32 SHTS

 $3/4" = 1'-0"$



**ADD ALTERNATE 3 PROJECT AREA - MAUKA**  
(PATIENT BATHROOMS 316-A, 316-B, 317-328)

**DEMO/EXST FLOOR PLAN**  
TYPICAL OF ROOMS 317, 318, 319, & 320  
(SEE B/A013 FOR NEW FLOOR PLAN)

**DEMO/EXST FLOOR PLAN**  
TYPICAL OF ROOMS 321, 322, 323, 324, 325,  
326, 327, & 328  
(SEE C/A013 FOR NEW FLOOR PLAN)

**DEMO/EXST FLOOR PLAN**  
TYPICAL OF ROOMS 316-A & 316-B  
(SEE A/A013 FOR NEW FLOOR PLAN)

**DEMO/EXST FLOOR PLAN**  
TYPICAL OF ROOMS 301, 302, 303, 304, 305,  
306, 307, & 308  
(SEE C/A011 FOR NEW FLOOR PLAN)

**DEMO/EXST FLOOR PLAN**  
DAY ROOM TOILET  
(SEE A/A011 FOR NEW FLOOR PLAN)

ARTHUR Y. MORI & ASSOCIATES, INC.

ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**  
Maluhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TMK: 1-6-009-004

SHEET TITLE  
OVERALL 3RD FLOOR PLAN






Bid Set

A circular professional seal for Jeffrey Y. Mori. The outer ring contains the name "JEFFREY Y. MORI" at the top and "HAWAII, USA" at the bottom. The inner circle contains the text "LICENSED PROFESSIONAL ARCHITECT" and "No. 8053". Two five-pointed stars are positioned on the left and right sides of the inner circle.

LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

SIGNATURE

NO.		REVISION
		
		
		
		
		
JOB NO.	—	

SHEET A009

DATE SEPT 18, 2025







11 OF 32 SHTS

**OVERALL 3RD FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

















## WORK LEGEND

	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR







## WORK LEGEND

	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

## WORK LEGEND

	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

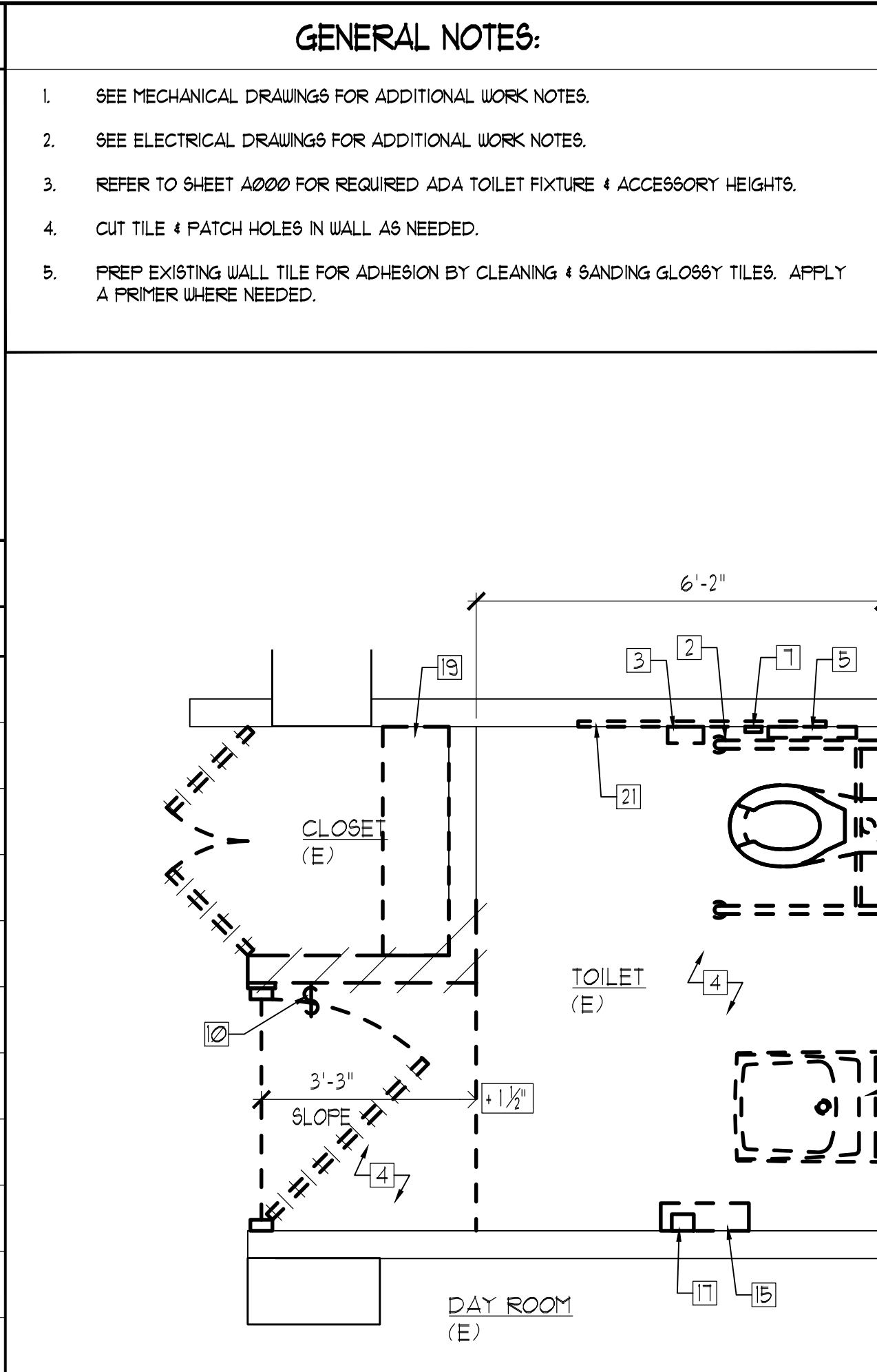
## WORK LEGEND

	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

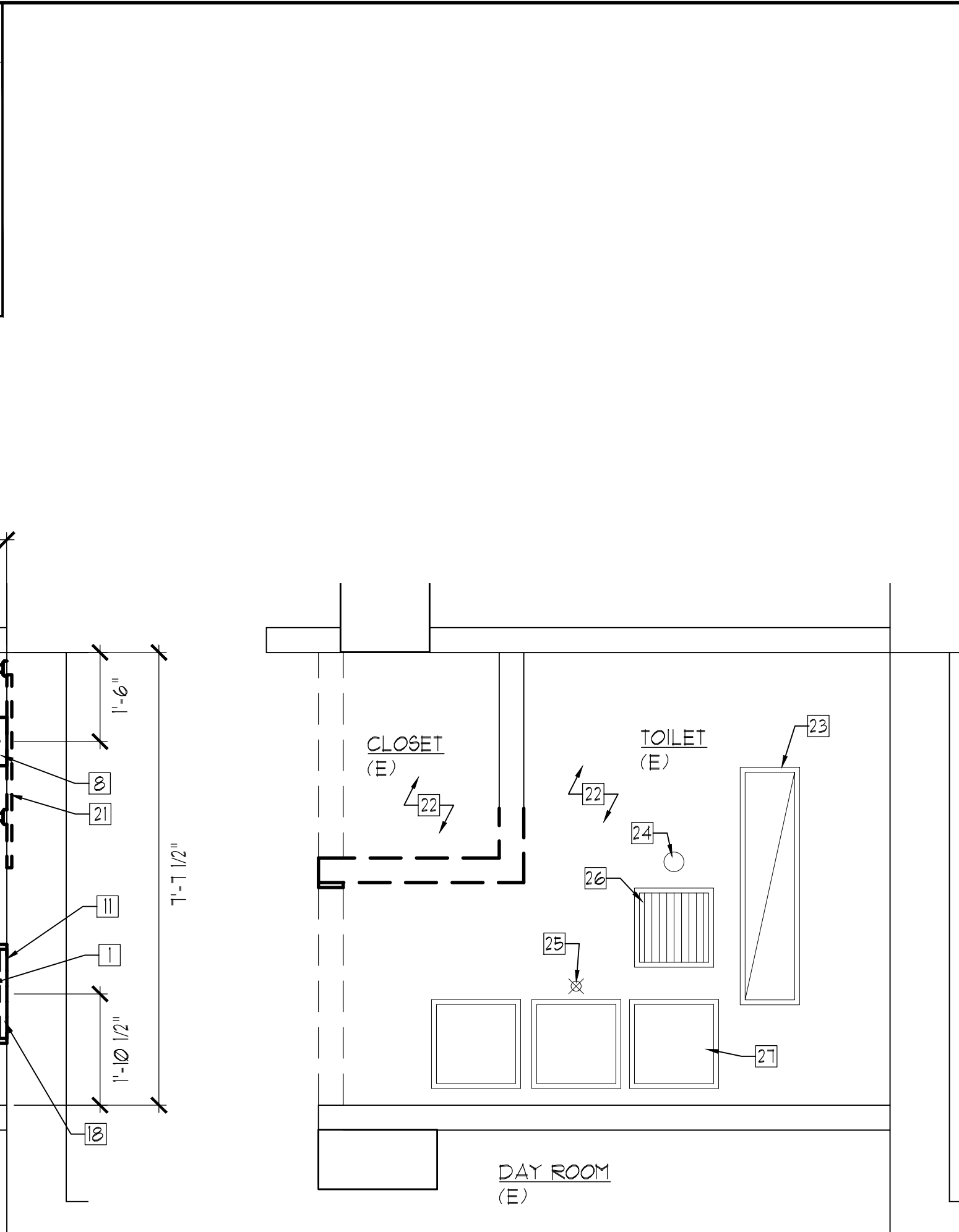
### GENERAL NOTES:

1. SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3. REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4. CUT TILE & PATCH HOLES IN WALL AS NEEDED.
5. PREP EXISTING WALL TILE FOR ADHESION BY CLEANING & SANDING GLOSSY TILES. APPLY A PRIMER WHERE NEEDED.

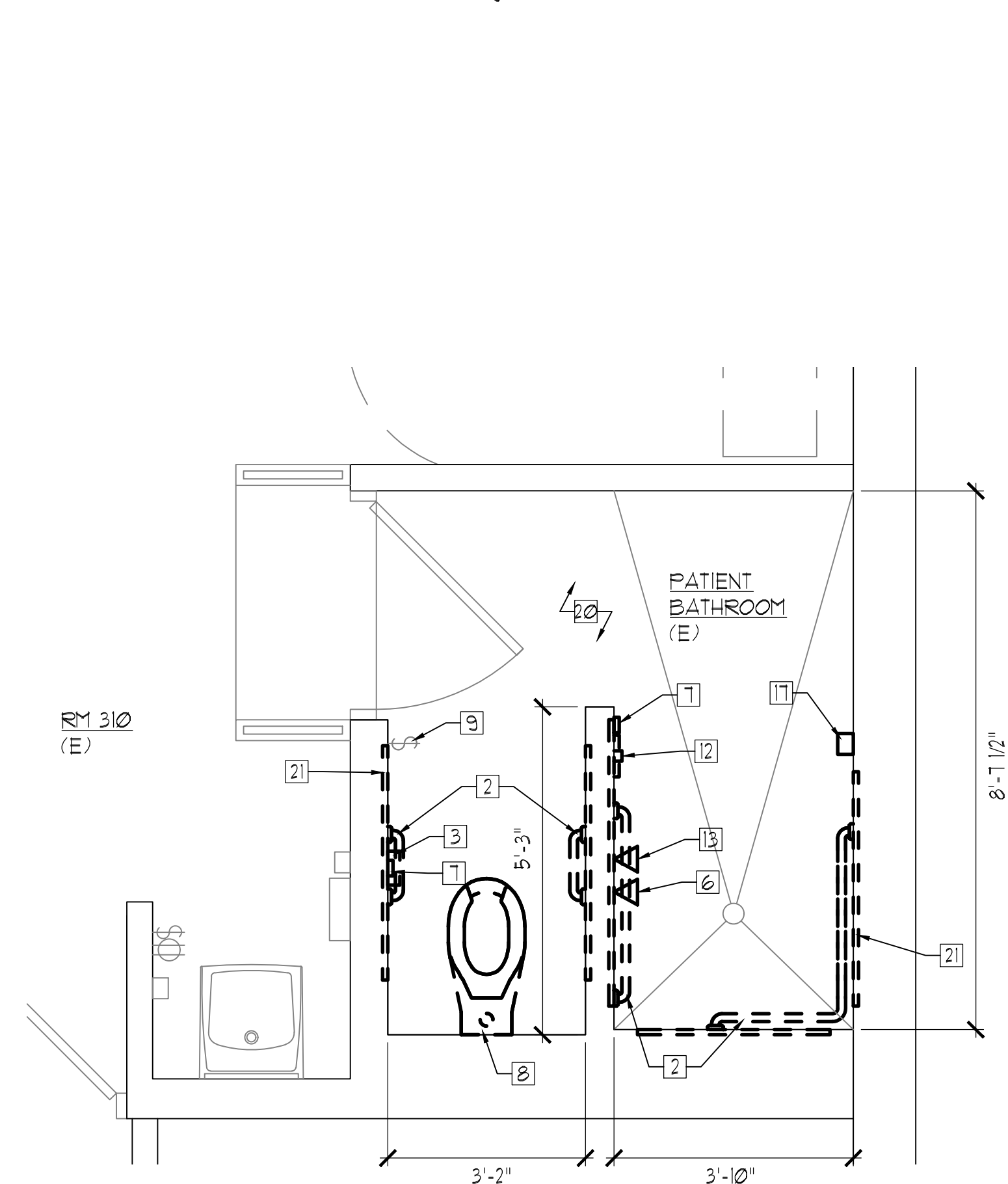
- ### GENERAL NOTES:
1. SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
  2. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
  3. REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
  4. CUT TILE & PATCH HOLES IN WALL AS NEEDED.
  5. PREP EXISTING WALL TILE FOR ADHESION BY CLEANING & SANDING GLOSSY TILES. APPLY A PRIMER WHERE NEEDED.



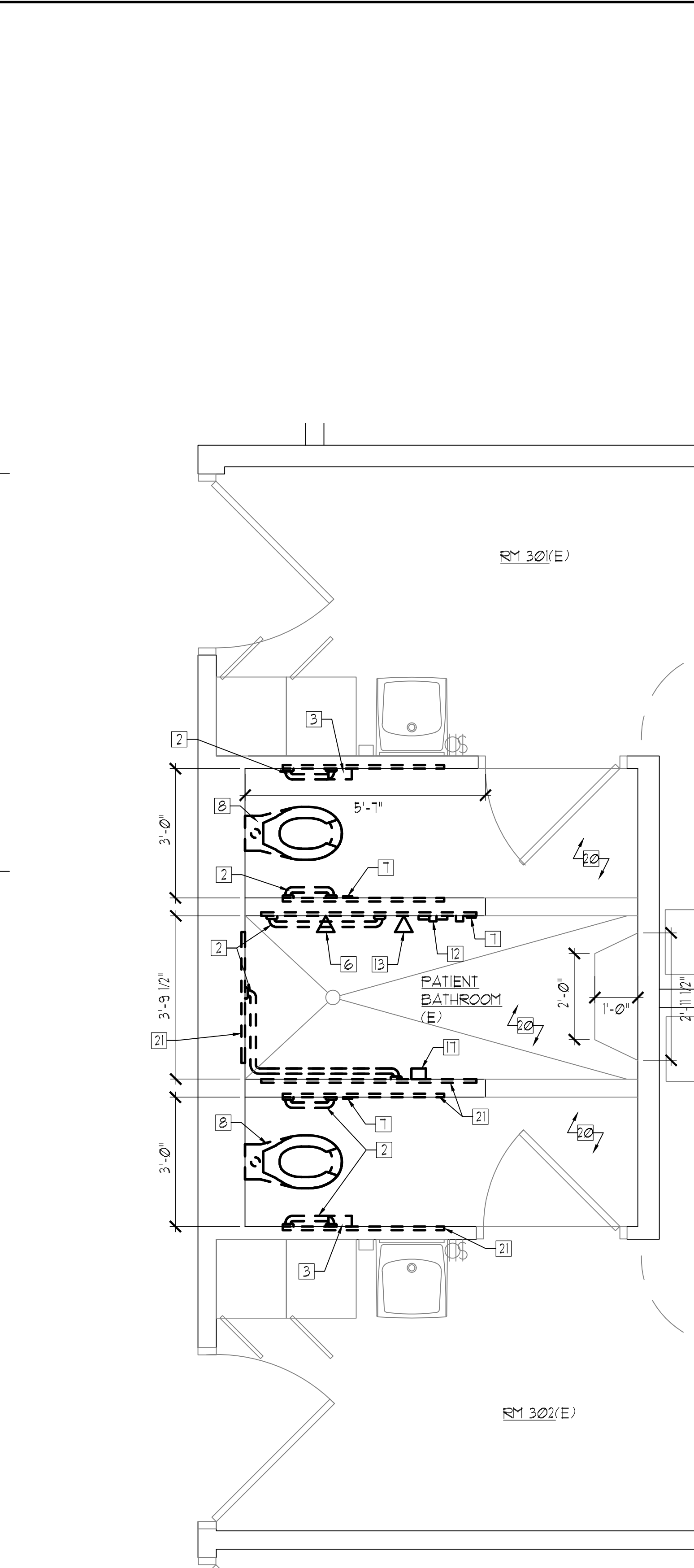

**DEMO/ EXST FLOOR PLAN**  
 SCALE: 1/2" = 1'-0"  
 (3rd Floor - Day Room)



**DEMO/ EXST CEILING PLAN**  
SCALE: 1/2" = 1'-0"  
(3rd Floor - Day Room)



**DEMO/ EXST FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(3rd Floor - Patient Rooms 309, 310, 311, 312, & 313)



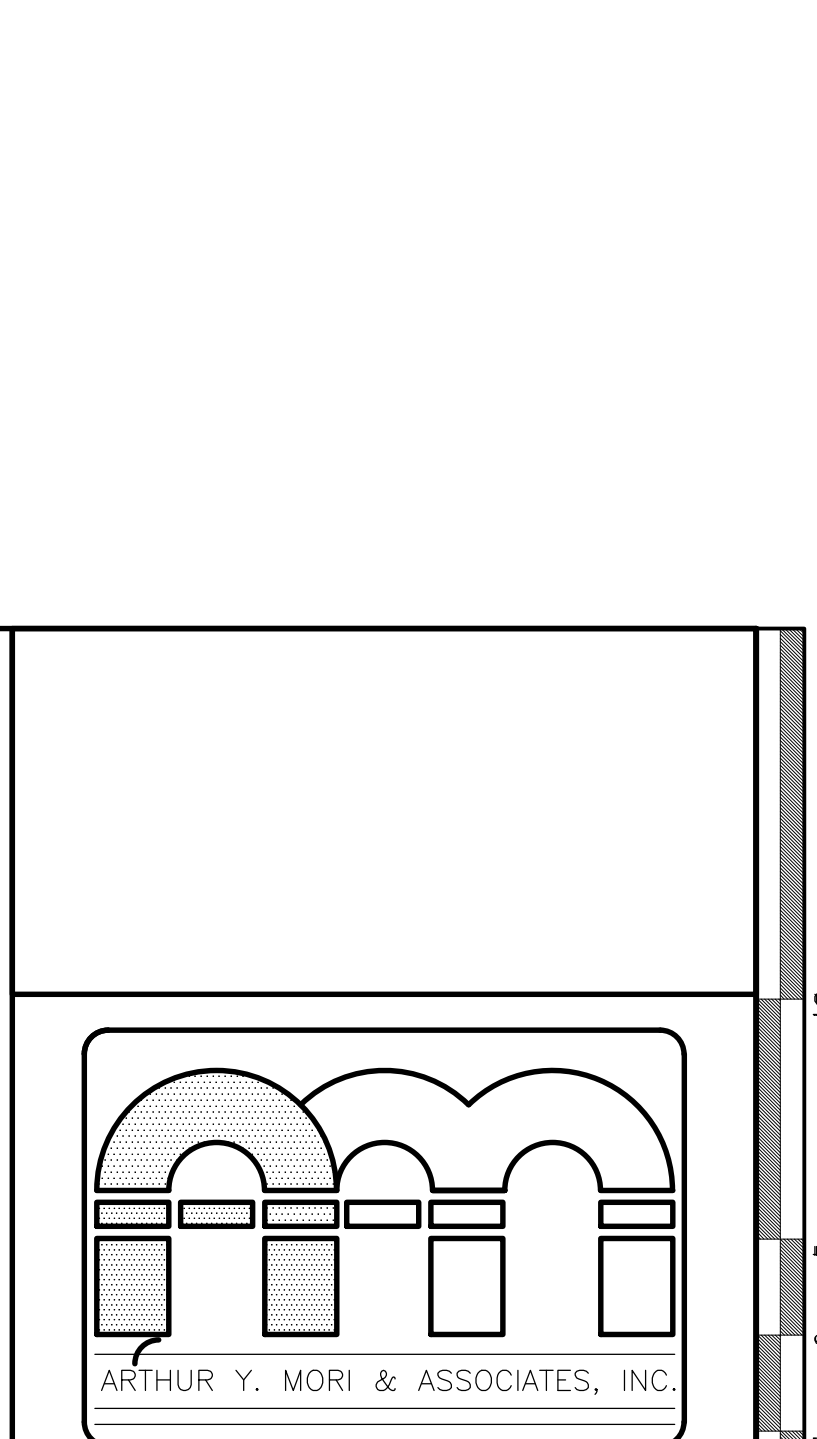
DEMO/ EXST FLOOR PLAN

SCALE: 1/2" = 1'-0"

(3rd Floor - Patient Rooms 301, 302, 303, 304, 305,  
306, 307, & 308)



ADD ALTERNATE 2 PROJECT AREA - MAKAI



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

ADA RENOVATIONS  
Mauihia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TWK: 1-6-009: 004

SHEET TITLE  
EXST/DEMO DAY ROOM AND PATIENT BATHROOM PLANS - 3RD FLOOR

ADA RENOVATIONS  
Mauihia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TWK: 1-6-009: 004

SHEET TITLE  
EXST/DEMO DAY ROOM AND PATIENT BATHROOM PLANS - 3RD FLOOR

ADA RENOVATIONS  
Mauihia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TWK: 1-6-009: 004

SHEET TITLE  
EXST/DEMO DAY ROOM AND PATIENT BATHROOM PLANS - 3RD FLOOR

ADA RENOVATIONS  
Mauihia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

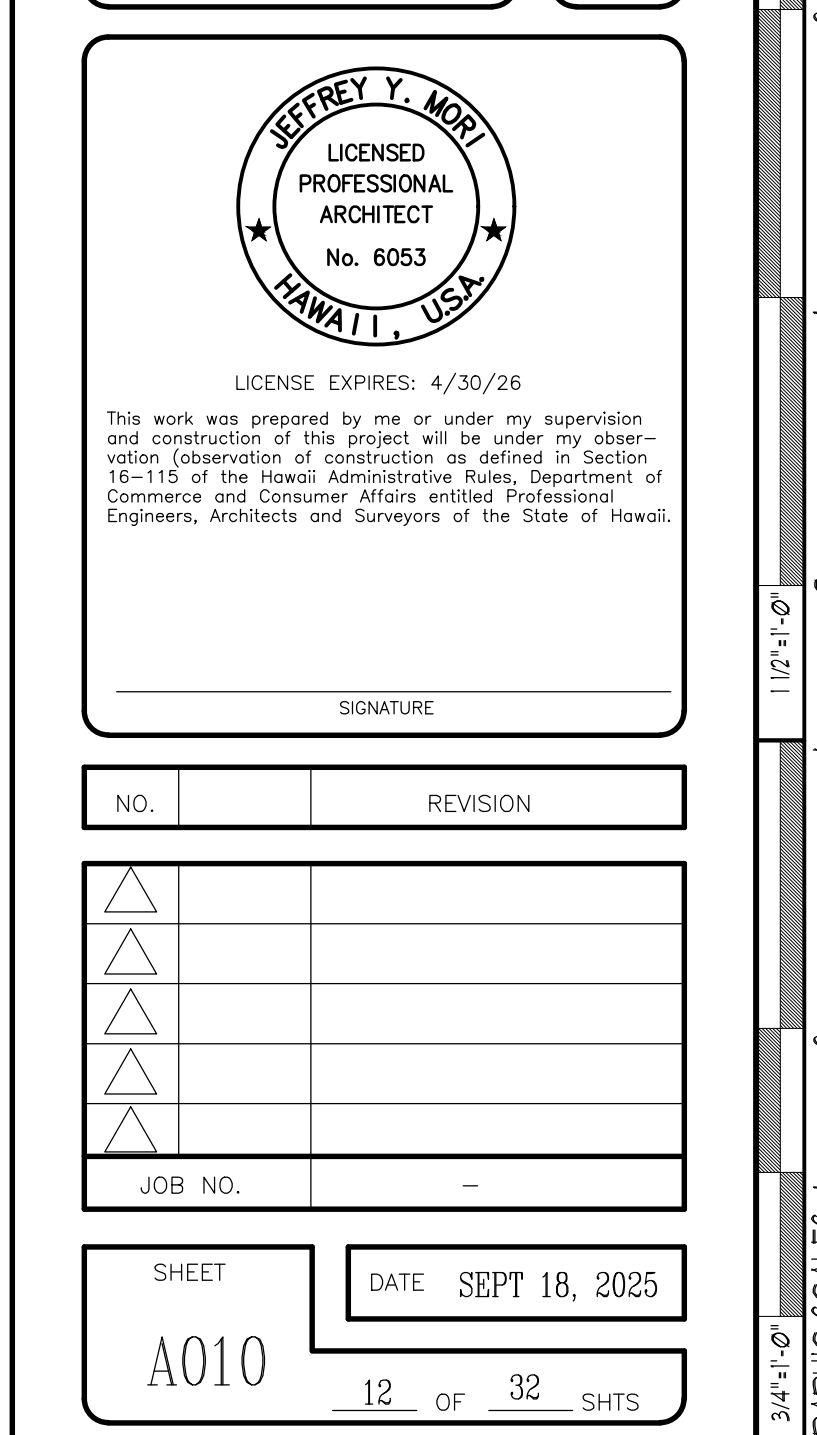
TWK: 1-6-009: 004

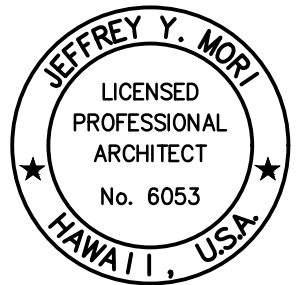





SHEET TITLE  
EXST/DEMO DAY ROOM AND PATIENT BATHROOM PLANS - 3RD FLOOR

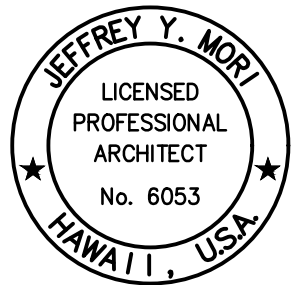





ADA RENOVATIONS  
Mauihia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

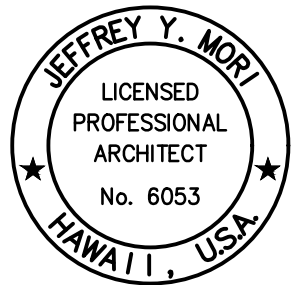





TWK: 1-6-009: 004

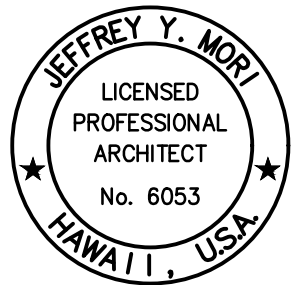





SHEET TITLE  
EXST/DEMO DAY ROOM AND PATIENT BATHROOM PLANS - 3RD FLOOR

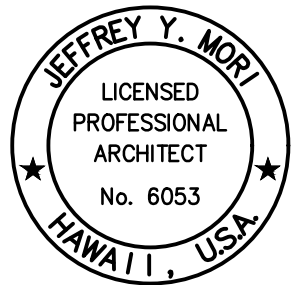







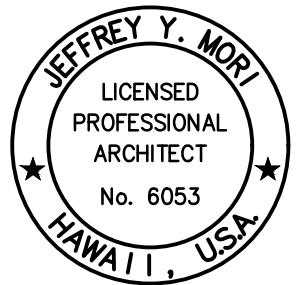





	
LICENSE EXPIRES: 4/30/26	
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).	
_____ SIGNATURE	
NO.	REVISION
	
	
	
	
	
JOB NO.	-
SHEET	DATE <b>SEPT 18, 2025</b>
<h1 style="margin: 0;">A010</h1>	<div style="display: flex; justify-content: space-around; font-size: 1.5em;"> <span>12</span> <span>OF</span> <span>32</span> <span>SHTS</span> </div>

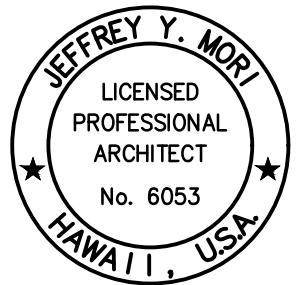





	
LICENSE EXPIRES: 4/30/26	
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).	
_____ SIGNATURE	
NO.	REVISION
	
	
	
	
	
JOB NO.	-
SHEET	DATE <b>SEPT 18, 2025</b>
<h1 style="margin: 0;">A010</h1>	<div style="display: flex; justify-content: space-around; font-size: 1.5em;"> <span>12</span> <span>OF</span> <span>32</span> <span>SHTS</span> </div>

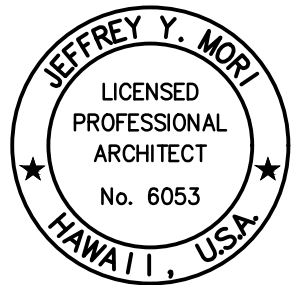





	
LICENSE EXPIRES: 4/30/26	
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).	
_____ SIGNATURE	
NO.	REVISION
	
	
	
	
	
JOB NO.	-
SHEET	DATE <b>SEPT 18, 2025</b>
<h1 style="margin: 0;">A010</h1>	<div style="display: flex; justify-content: space-around; font-size: 1.5em;"> <span>12</span> <span>OF</span> <span>32</span> <span>SHTS</span> </div>

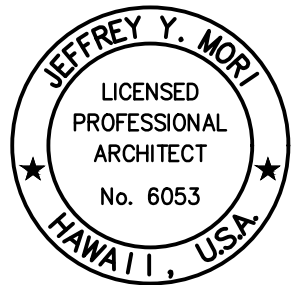





	
LICENSE EXPIRES: 4/30/26	
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).	
_____ SIGNATURE	
NO.	REVISION
	
	
	
	
	
JOB NO.	-
SHEET	DATE <b>SEPT 18, 2025</b>
<h1 style="margin: 0;">A010</h1>	<div style="display: flex; justify-content: space-around; font-size: 1.5em;"> <span>12</span> <span>OF</span> <span>32</span> <span>SHTS</span> </div>

	
LICENSE EXPIRES: 4/30/26	
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).	
_____ SIGNATURE	
NO.	REVISION
	
	
	
	
	
JOB NO.	-
SHEET	DATE <b>SEPT 18, 2025</b>
<h1 style="margin: 0;">A010</h1>	<div style="display: flex; justify-content: space-around; font-size: 1.5em;"> <span>12</span> <span>OF</span> <span>32</span> <span>SHTS</span> </div>

	
LICENSE EXPIRES: 4/30/26	
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).	
_____ SIGNATURE	
NO.	REVISION
	
	
	
	
	
JOB NO.	-
SHEET	DATE <b>SEPT 18, 2025</b>
<h1 style="margin: 0;">A010</h1>	<div style="display: flex; justify-content: space-around; font-size: 1.5em;"> <span>12</span> <span>OF</span> <span>32</span> <span>SHTS</span> </div>







	
LICENSE EXPIRES: 4/30/26	
This work was prepared by me or under my supervision and construction of this project will be under my observation (Observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.)	
_____ SIGNATURE	
NO.	REVISION
	
	
	
	
	
JOB NO.	-
SHEET	DATE <b>SEPT 18, 2025</b>
<div style="font-size: 2em; font-weight: bold;">A010</div>	<div style="display: flex; justify-content: space-around; align-items: center;"> <span style="font-size: 1.5em;">12</span> <span>OF</span> <span style="font-size: 1.5em;">32</span> <span>SHTS</span> </div>

	
LICENSE EXPIRES: 4/30/26	
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).	
_____ SIGNATURE	
NO.	REVISION
	
	
	
	
	
JOB NO.	-
SHEET	DATE <b>SEPT 18, 2025</b>
<h1 style="margin: 0;">A010</h1>	<div style="display: flex; justify-content: space-around; font-size: 1.5em;"> <span>12</span> <span>OF</span> <span>32</span> <span>SHTS</span> </div>







	
LICENSE EXPIRES: 4/30/26	
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).	
_____ SIGNATURE	
NO.	REVISION
	
	
	
	
	
JOB NO.	-
SHEET	DATE <b>SEPT 18, 2025</b>
<h1 style="margin: 0;">A010</h1>	<div style="display: flex; justify-content: space-around; font-size: 1.5em;"> <span>12</span> <span>OF</span> <span>32</span> <span>SHTS</span> </div>



## WORK LEGEND

	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

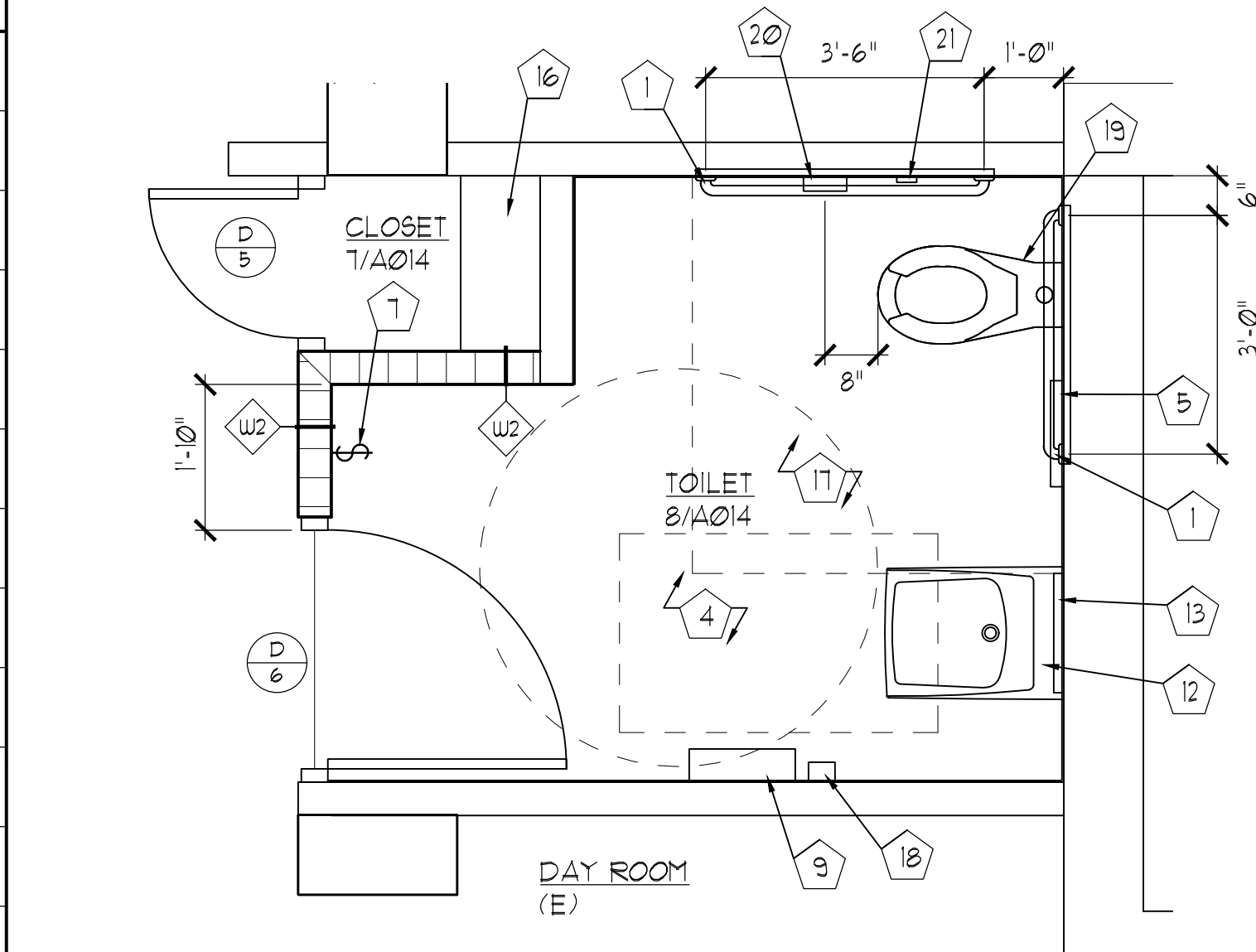
## WORK LEGEND


	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

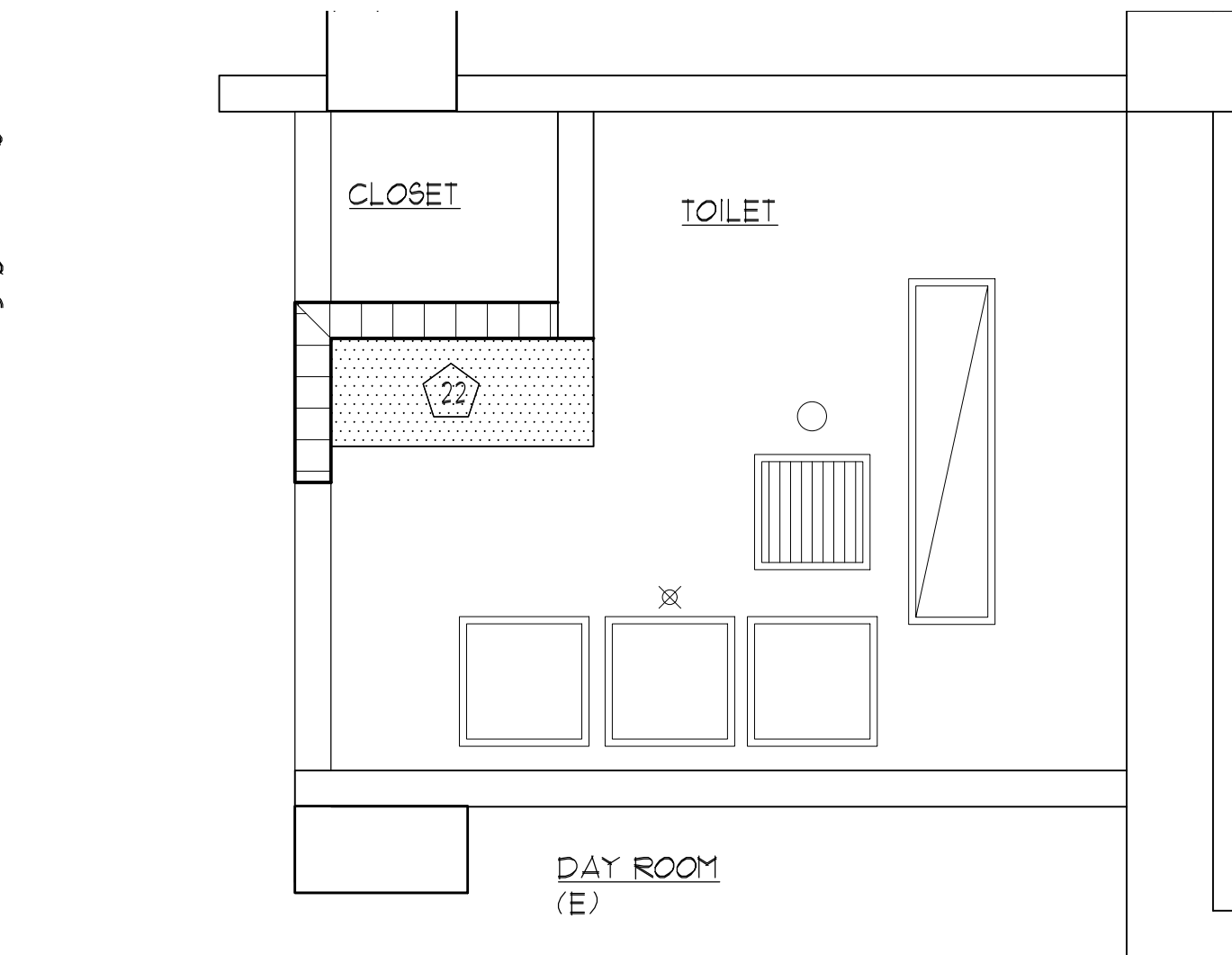
GENERAL NOTES:	
1.	SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2.	SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3.	REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4.	CUT TILE & PATCH HOLES IN WALL AS NEEDED.

- | GENERAL NOTES: |  |
|----------------|--|
| 1.             | SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.                       |
| 2.             | SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.                       |
| 3.             | REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS. |
| 4.             | CUT TILE & PATCH HOLES IN WALL AS NEEDED.                                |

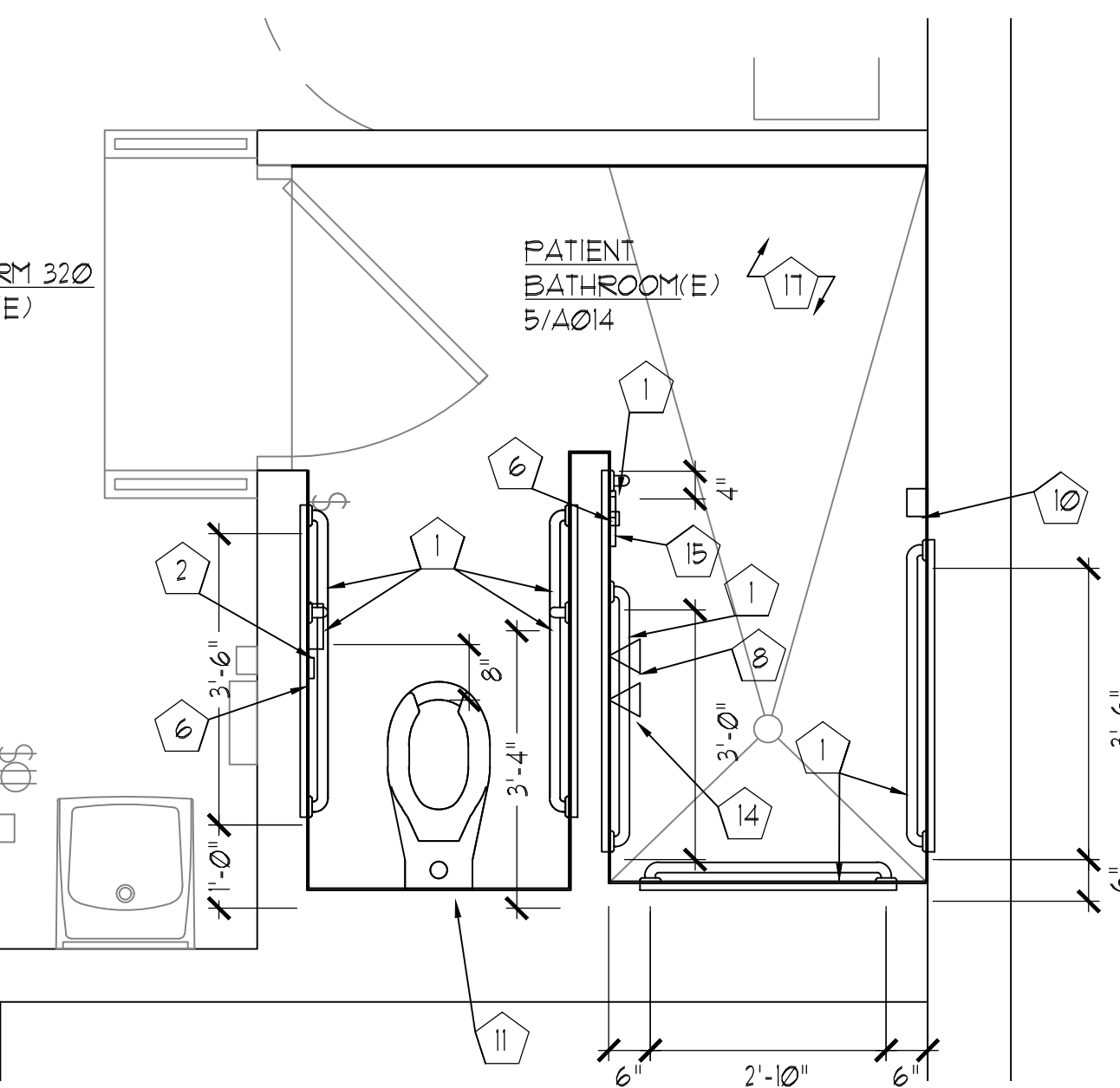
## NEW WORK NOTES

[illegible]

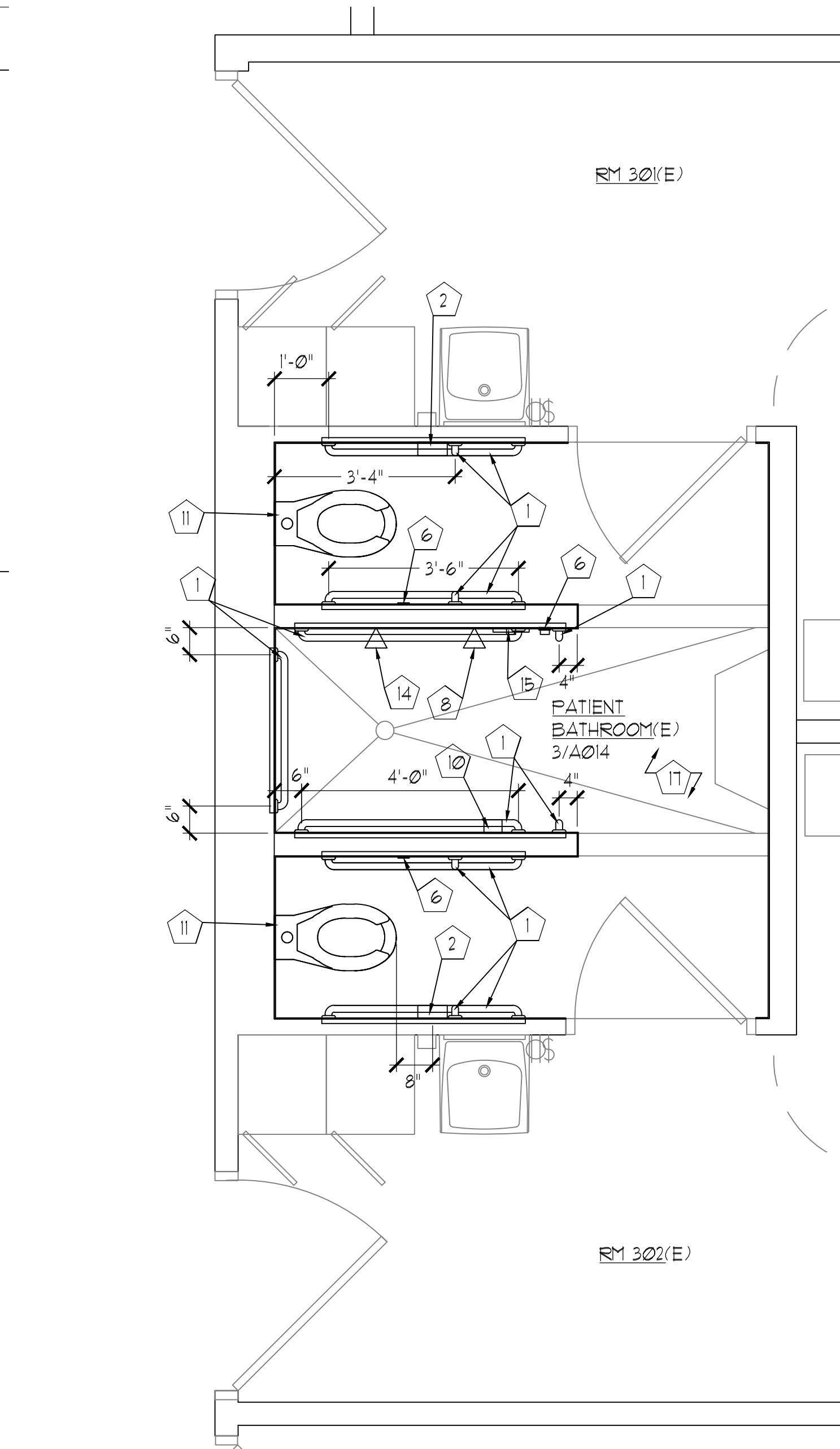
 **NEW FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(3rd Floor - Day Room)



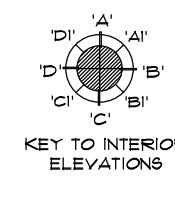
**NEW CEILING PLAN**  
SCALE: 1/2" = 1'-0"  
(3rd Floor - Day Room)



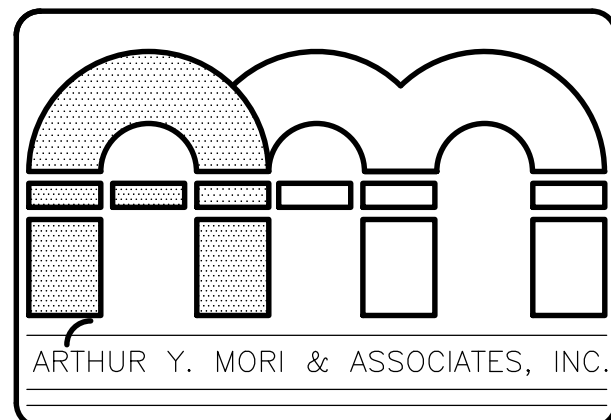
NEW FLOOR PLAN  
 SCALE: 1/2" = 1'-0"  
 Floor - Patient Rooms 309, 310, 311, 312, & 313)



**NEW FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(3rd Floor - Patient Rooms 301, 302, 303, 304,  
305, 306, 307, & 308)



ADD ALTERNATE 2 PROJECT AREA - MAKAI



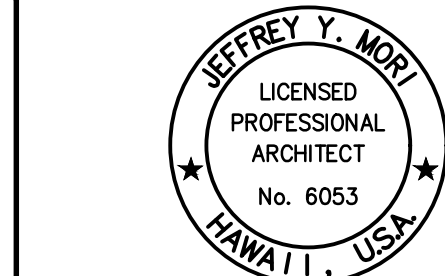
ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**  
 Maluhia – 1st, 2nd, and 3rd Floor  
 1027 Hala Drive  
 Honolulu, Hawaii 96817

or

<p><b><u>ADA RENOVATIONS</u></b></p> <p>Matuhia – 1st, 2nd, and 3rd Floor</p> <p>1027 Hala Drive</p> <p>Honolulu, Hawaii 96817</p>	<p>TAK</p>	<p>SHEET TITLE</p>	<p>NEW DAY ROOM AND PATIENT BATHROOM PLANS – 3RD FLOOR</p>
<p>Bid Set</p>			

	Bid	Set
1	1	1
2	1	1
3	1	1
4	1	1
5	1	1
6	1	1
7	1	1
8	1	1
9	1	1
10	1	1
11	1	1
12	1	1
13	1	1
14	1	1
15	1	1
16	1	1
17	1	1
18	1	1
19	1	1
20	1	1
21	1	1
22	1	1
23	1	1
24	1	1
25	1	1
26	1	1
27	1	1
28	1	1
29	1	1
30	1	1
31	1	1
32	1	1
33	1	1
34	1	1
35	1	1
36	1	1
37	1	1
38	1	1
39	1	1
40	1	1
41	1	1
42	1	1
43	1	1
44	1	1
45	1	1
46	1	1
47	1	1
48	1	1
49	1	1
50	1	1
51	1	1
52	1	1
53	1	1
54	1	1
55	1	1
56	1	1
57	1	1
58	1	1
59	1	1
60	1	1
61	1	1
62	1	1
63	1	1
64	1	1
65	1	1
66	1	1
67	1	1
68	1	1
69	1	1
70	1	1
71	1	1
72	1	1
73	1	1
74	1	1
75	1	1
76	1	1
77	1	1
78	1	1
79	1	1
80	1	1
81	1	1
82	1	1
83	1	1
84	1	1
85	1	1
86	1	1
87	1	1
88	1	1
89	1	1
90	1	1
91	1	1
92	1	1
93	1	1
94	1	1
95	1	1
96	1	1
97	1	1
98	1	1
99	1	1
100	1	1








LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

\_\_\_\_\_  
SIGNATURE

NO.	REVISION
-----	----------

JOB NO.

SHEET	DATE SEPT 18, 2025
-------	--------------------

A011

A011 13 OF 32 SHTS







A011

13 OF 32 SHTS

3/4"=1'-0"



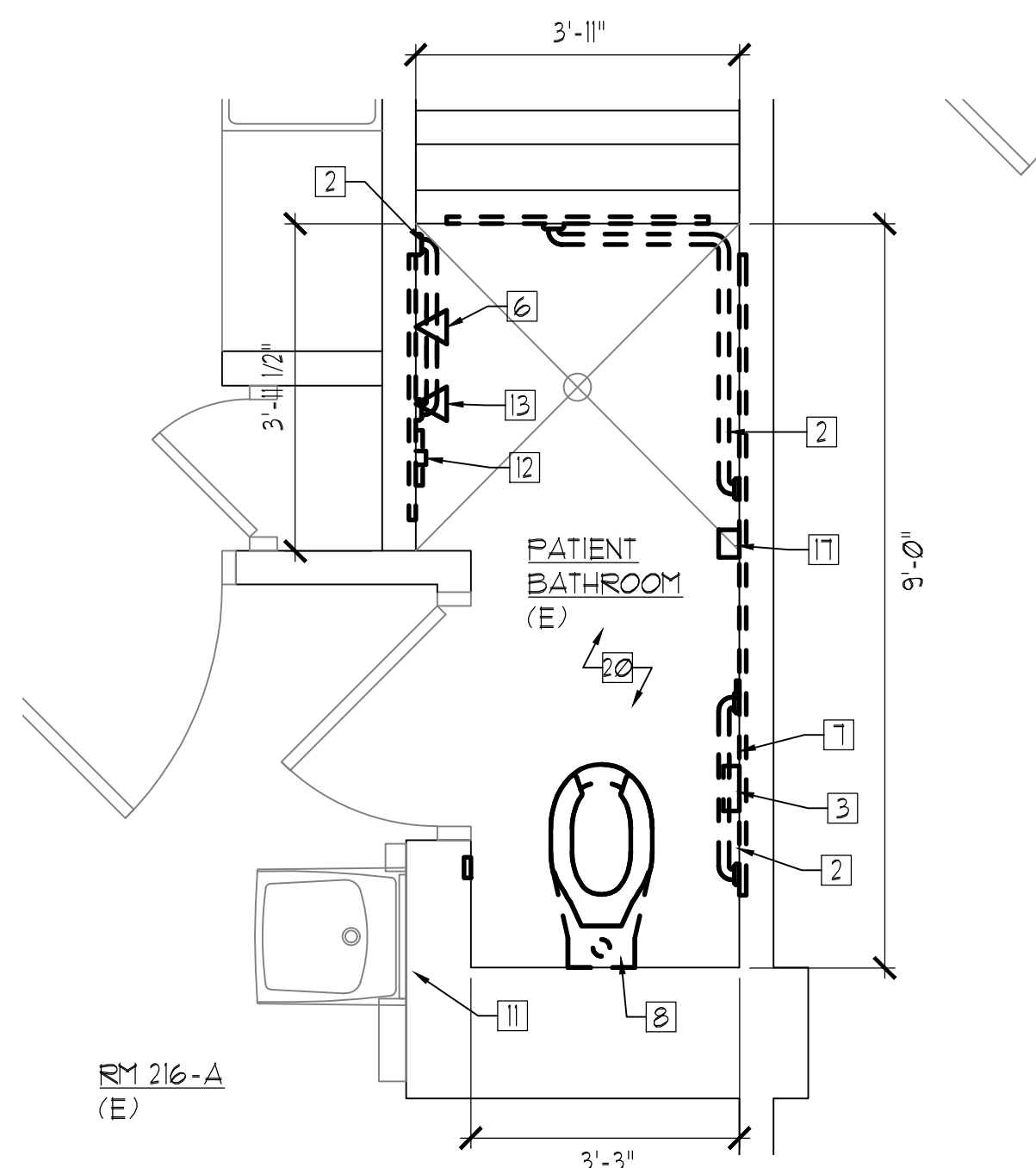
## WORK LEGEND

	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

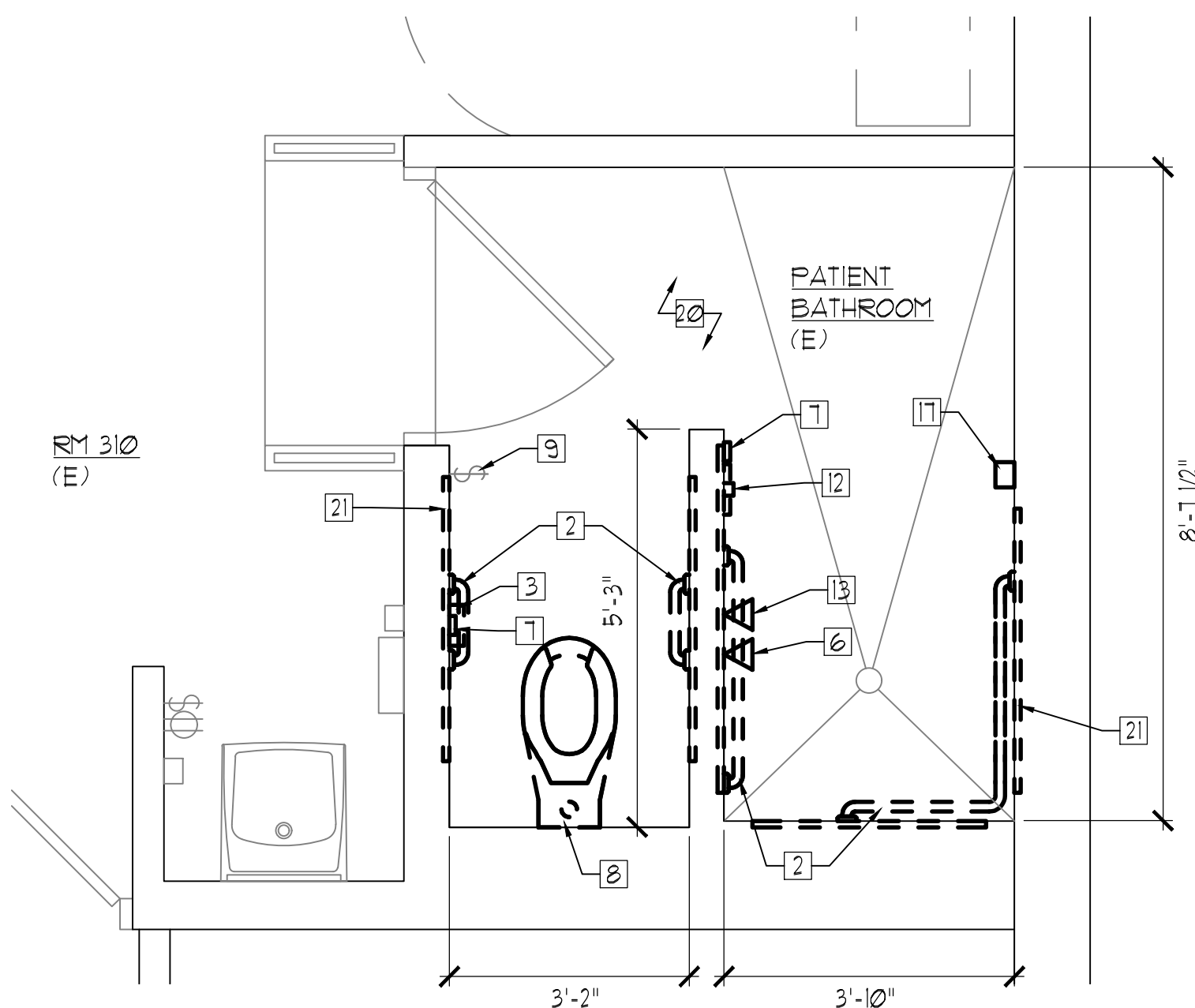
GENERAL NOTES:

1. SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3. REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4. CUT TILE & PATCH HOLES IN WALL AS NEEDED.
5. PREP EXISTING WALL TILE FOR ADHESION BY CLEANING & SANDING GLOSSY TILES. APPLY A PRIMER WHERE NEEDED.

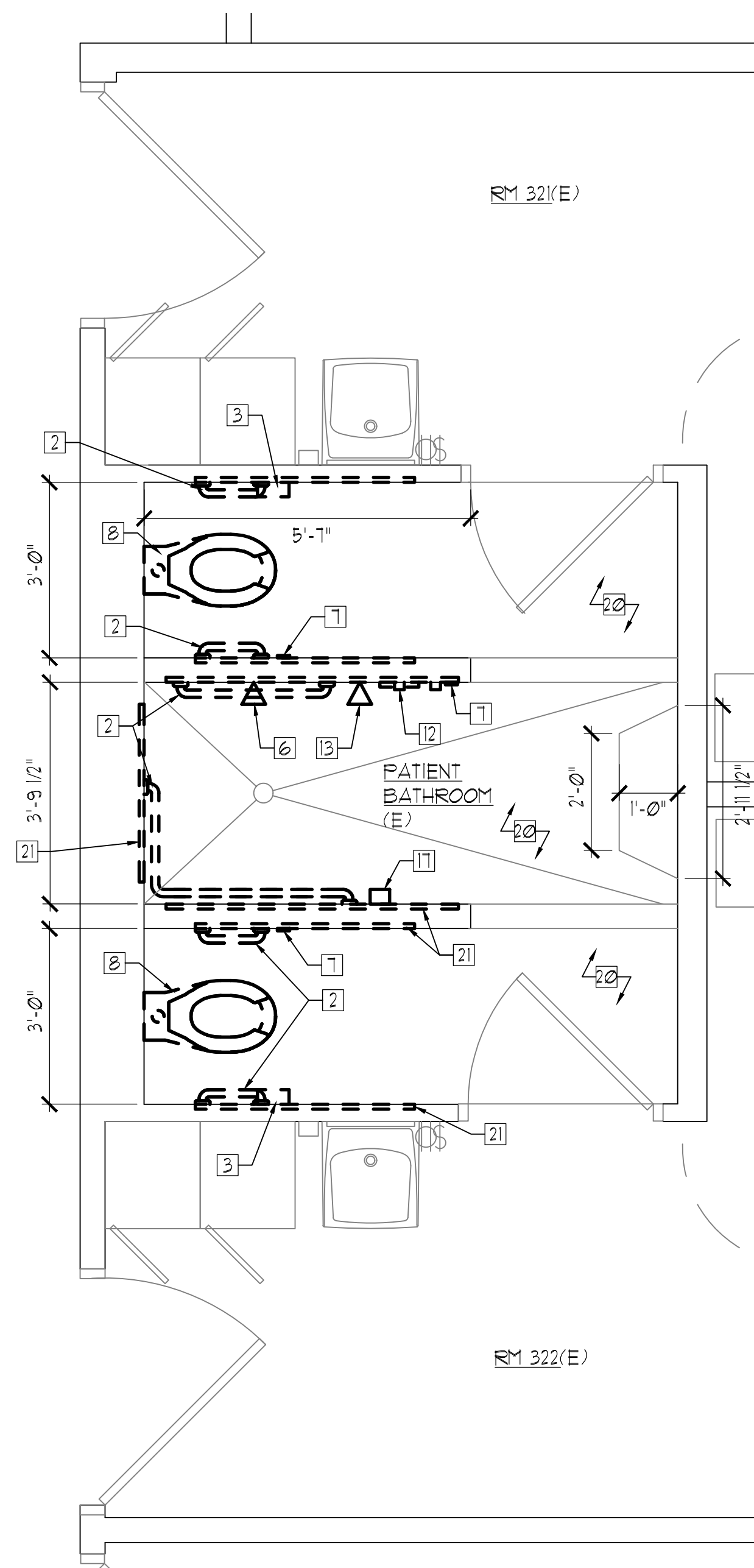
## DEMOLITION WORK NOTES

[illegible]

**DEMO/ EXST FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(3rd Floor - Patient Rooms 316-A & 317-B)



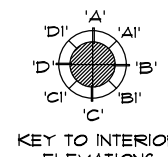
**DEMO/ EXST FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(3rd Floor - Patient Rooms 317, 318, 319, & 320)



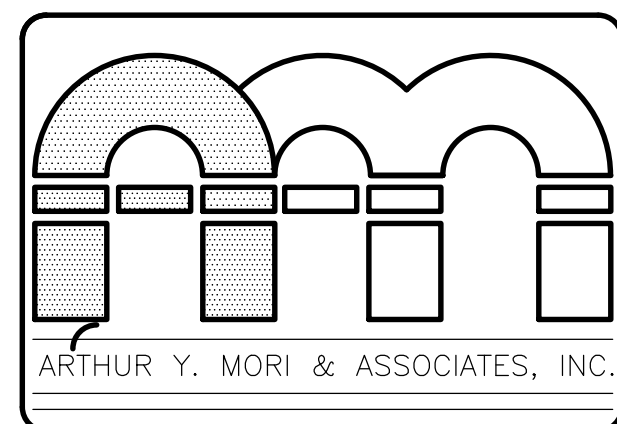
**DEMO/ EXST FLOOR PLAN**

SCALE: 1/2" = 1'-0"

(3rd Floor - Patient Rooms 321, 322, 323, 324, 325, 326, 327, & 328)



ADD ALTERNATE 3 PROJECT AREA - MAUKA



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**  
Matuhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

CMK: 1-6-009: 004

Bid Set

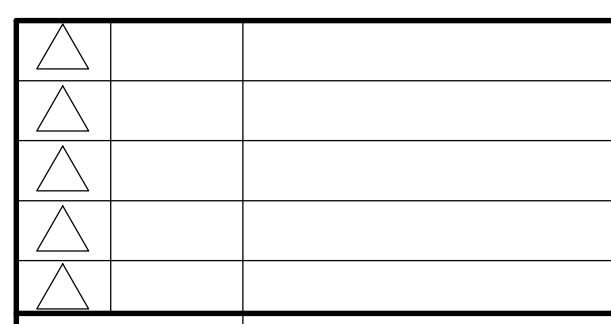


LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

SIGNATURE

NO.	REVISION
-----	----------



DATE SEPT 18, 2025







A012

14 OF 32 SHTS

 $3/4'' = 1'-0''$



## WORK LEGEND

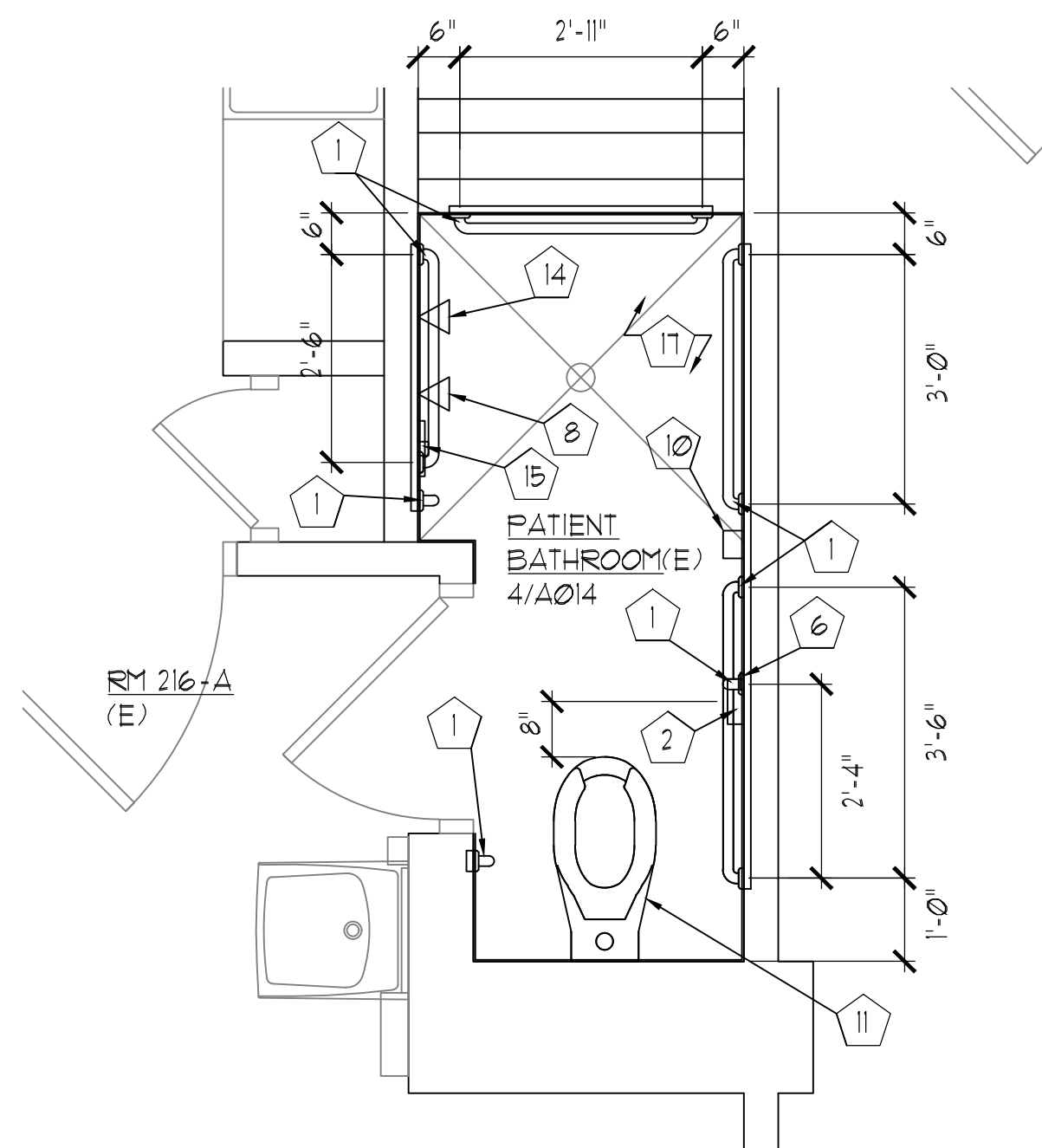
- |   |                                       |
|---|---------------------------------------|
|  | EXISTING WALL PARTITION TO REMAIN     |
|  | EXISTING WALL PARTITION TO BE REMOVED |
|  | NEW WALL PARTITION                    |
|  | EXISTING DOOR TO REMAIN               |
|  | EXISTING DOOR TO BE REMOVED           |
|  | NEW DOOR                              |

GENERAL NOTES:

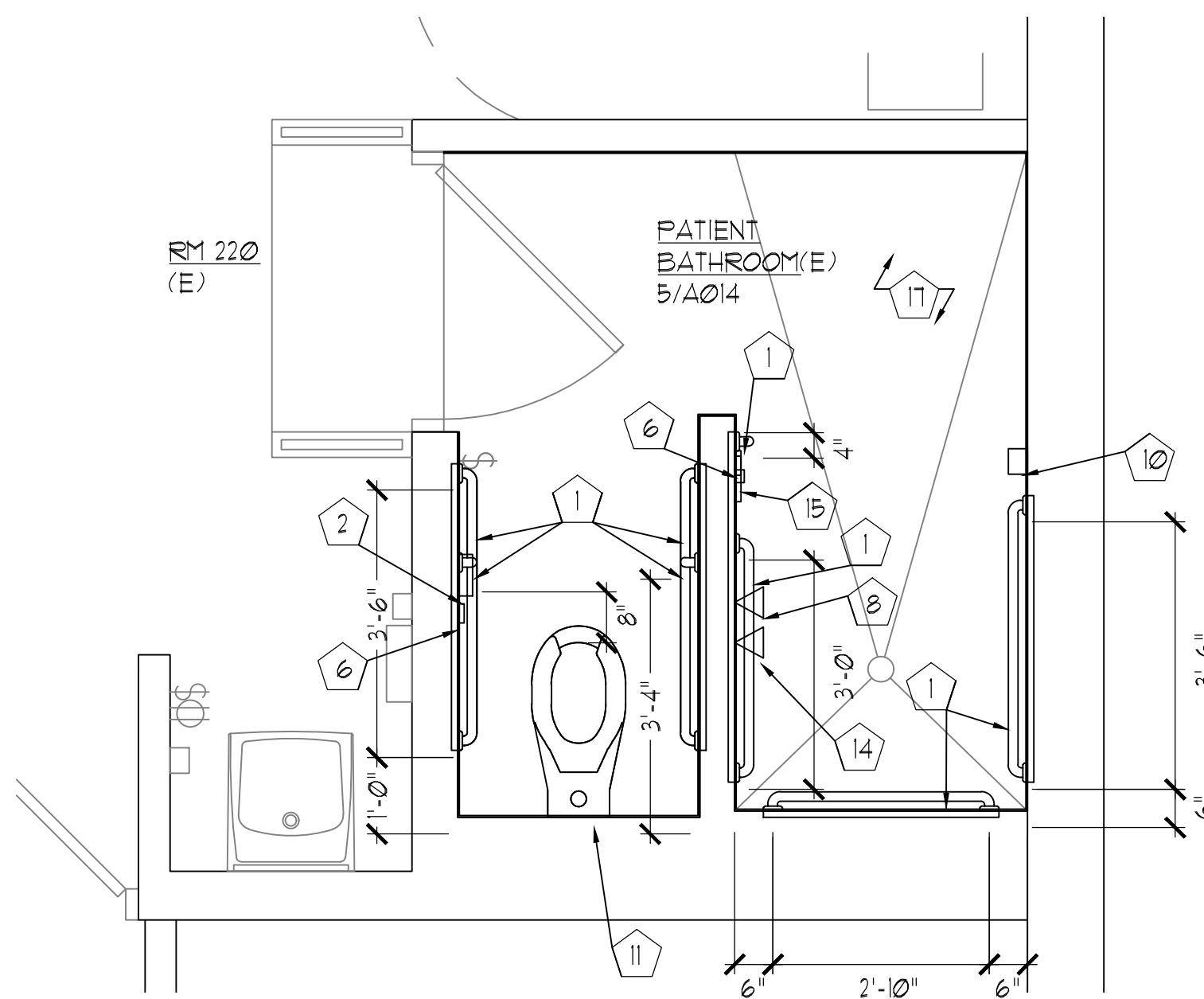
1. SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3. REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4. CUT TILE & PATCH HOLES IN WALL AS NEEDED.

## NEW WORK NOTES

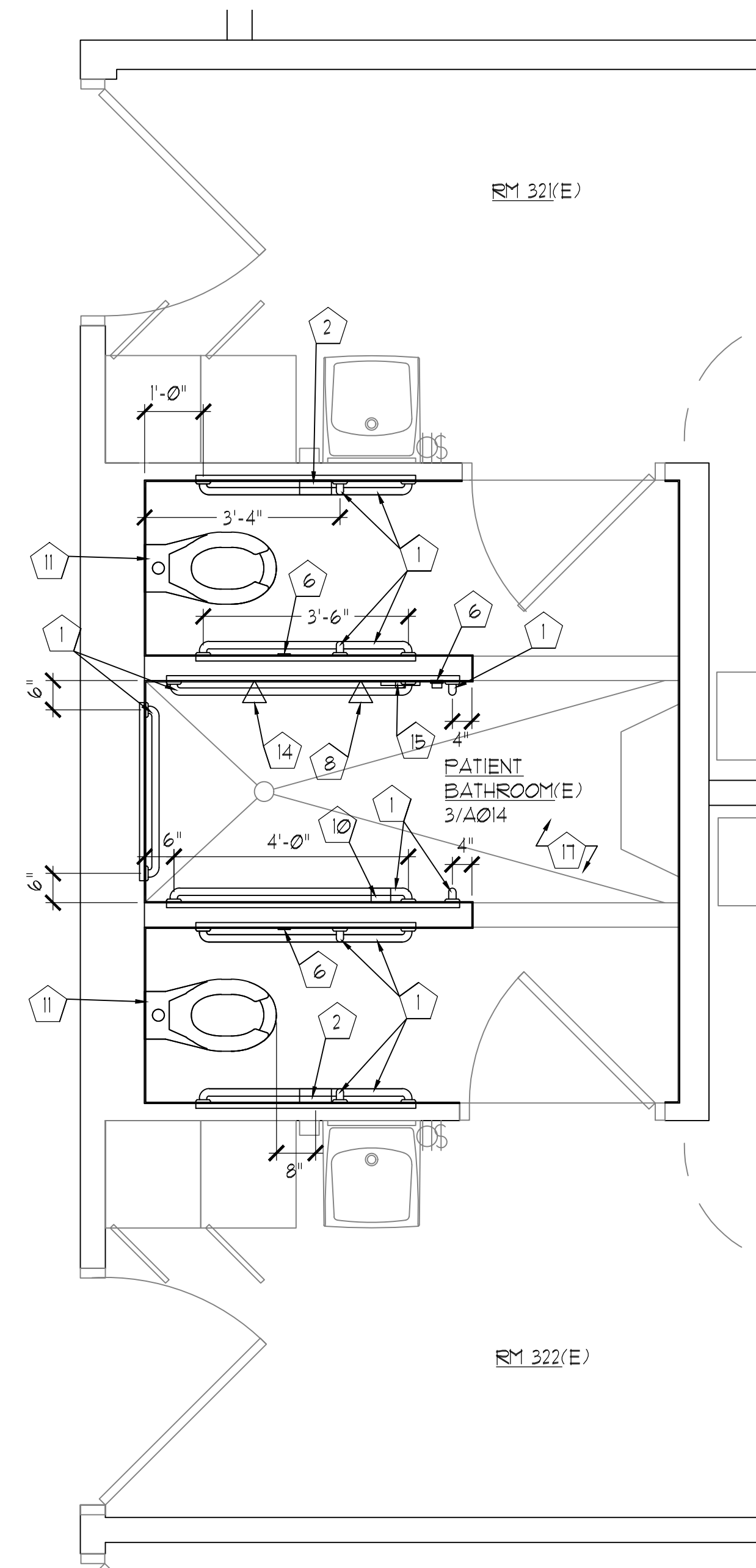
SYMBOL	DESCRIPTION
1	NEW GRAB BAR w/ BACKING IN WALL
2	RELOCATED TOILET PAPER DISPENSER
3	NOT USED
4	NOT USED
5	NOT USED
6	RELOCATED NURSE CALL
7	NOT USED
8	RELOCATED HANDHELD SHOWER HEAD MOUNT
9	NOT USED
10	RELOCATED SOAP DISPENSER
11	REINSTALLED WATER CLOSET
12	NOT USED
13	NOT USED
14	REINSTALLED SHOWER HEAD
15	REINSTALLED SHOWER CONTROLS
16	NOT USED
17	NEW SOLID SURFACE WAINSCOT, TYP. - SEE INTERIOR ELEVATIONS
18	NOT USED
19	NOT USED
20	NOT USED
21	NOT USED



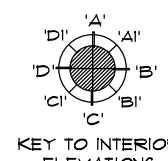
**NEW FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(3rd Floor - Patient Rooms 316-A & 317-B)



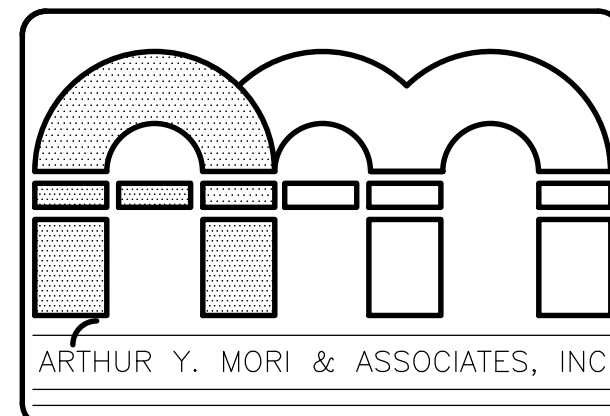
**NEW FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(3rd Floor - Patient Rooms 317, 318, 319, & 320)



**NEW FLOOR PLAN**  
SCALE: 1/2" = 1'-0"  
(3rd Floor - Patient Rooms 321, 322, 323, 324, 325,  
326, 327, & 328)



ADD ALTERNATE 3 PROJECT AREA - MAUKA



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**  
Matuhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TMK: 1-6-009: 004

Bid Set

SHEET TITLE



LICENSE EXPIRES: 4/30/2018

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

SIGNATURE

NO.		REVISION
-----	--	----------

△		
△		
△		
△		
△		

SHEET

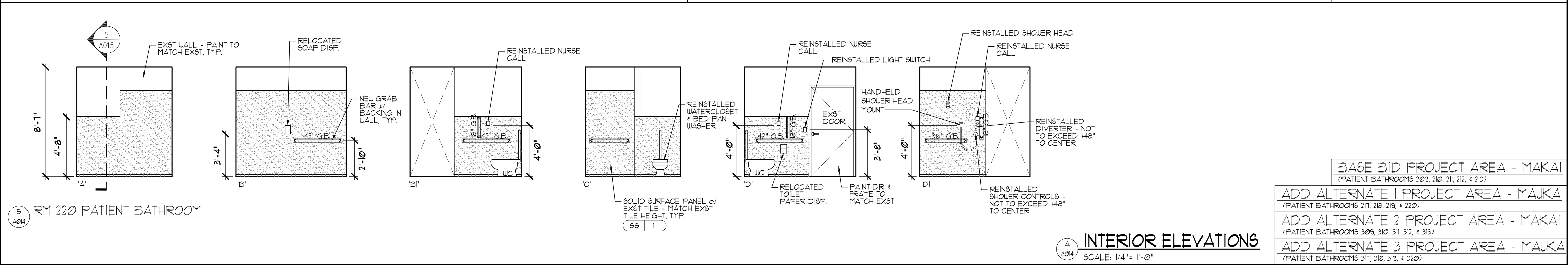
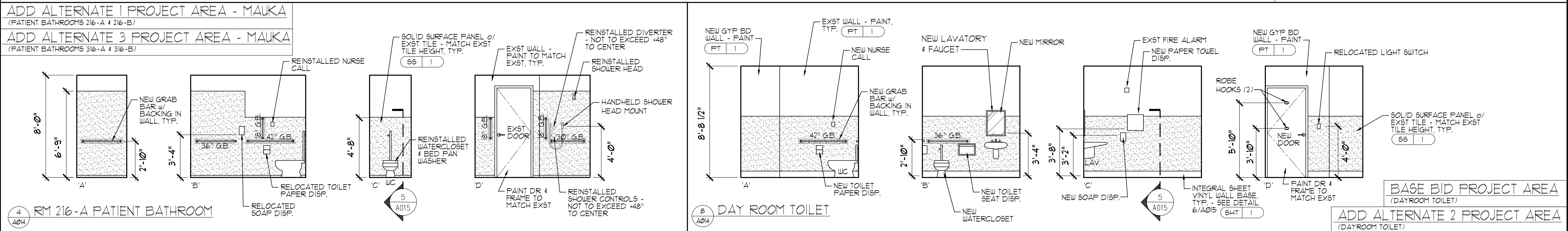
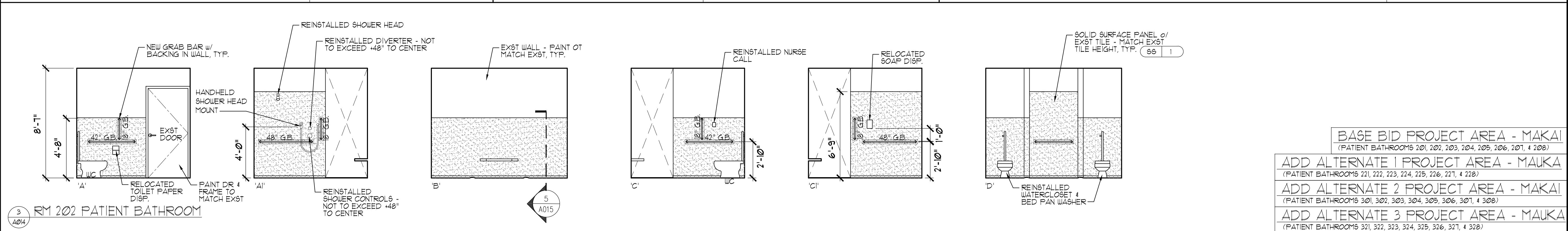
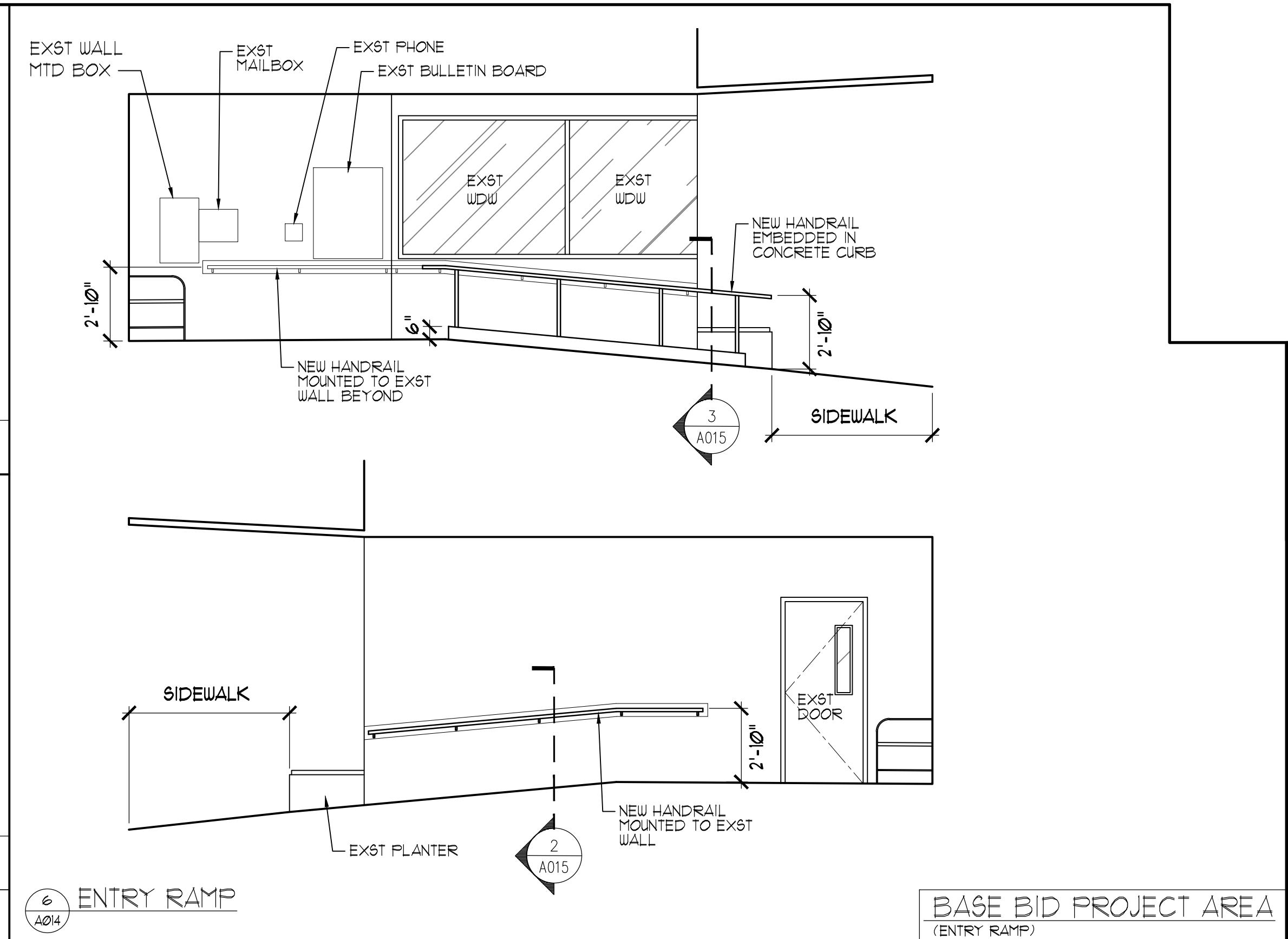
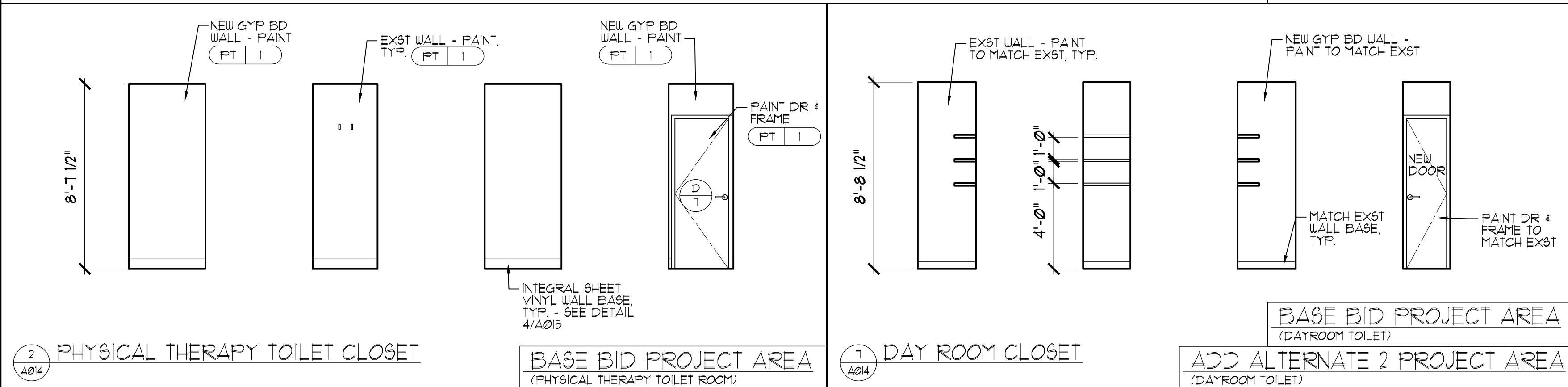
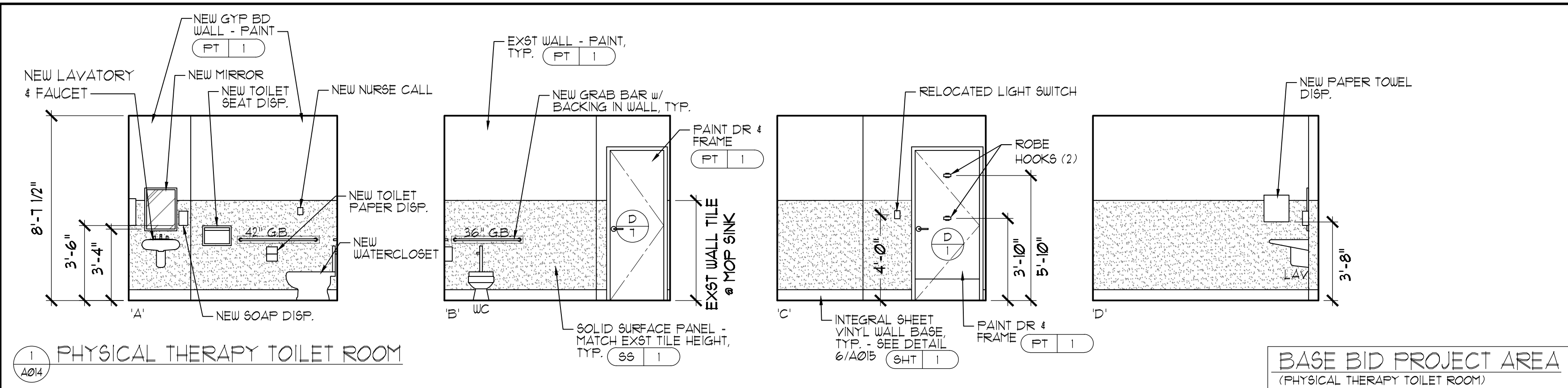
DATE SEPT 18, 202

A013

15 OF 32 SHTS

$$3/4'' = 1'-0''$$





INTERIOR ELEVATIONS  
SCALE: 1/4" = 1'-0"

ARTHUR Y. MORI & ASSOCIATES, INC.

ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**

Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TWK: 1-6-009-004

Bid Set

SHEET TITLE

LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

SIGNATURE

NO.	REVISION

JOB NO. -

SHEET A014

DATE SEPT 18, 2025

16 OF 32 SHTS

GRAPHIC SCALES

3/4" = 1'-0"

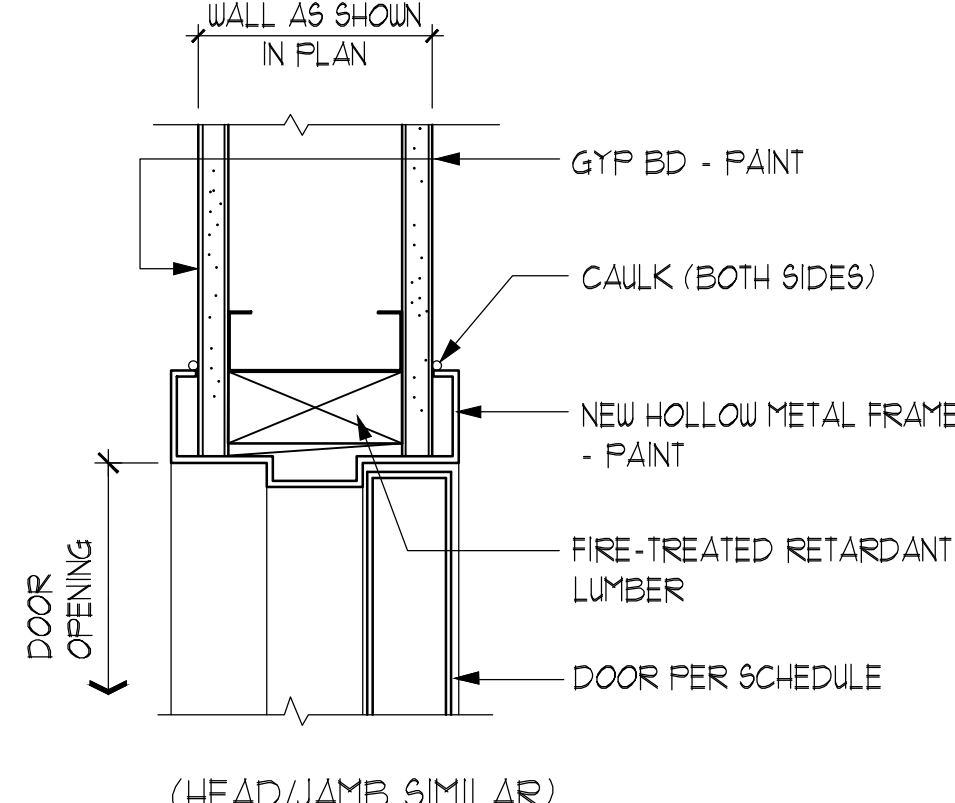
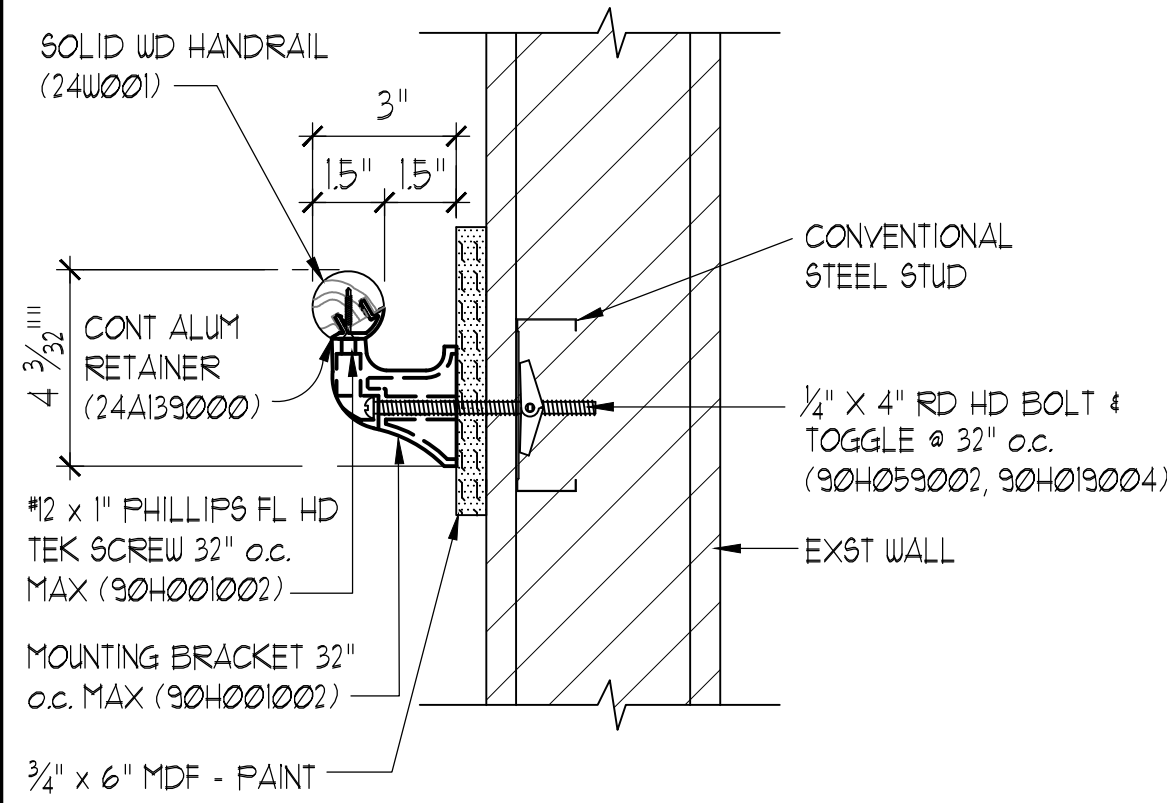
1/2" = 1'-0"

1/4" = 1'-0"

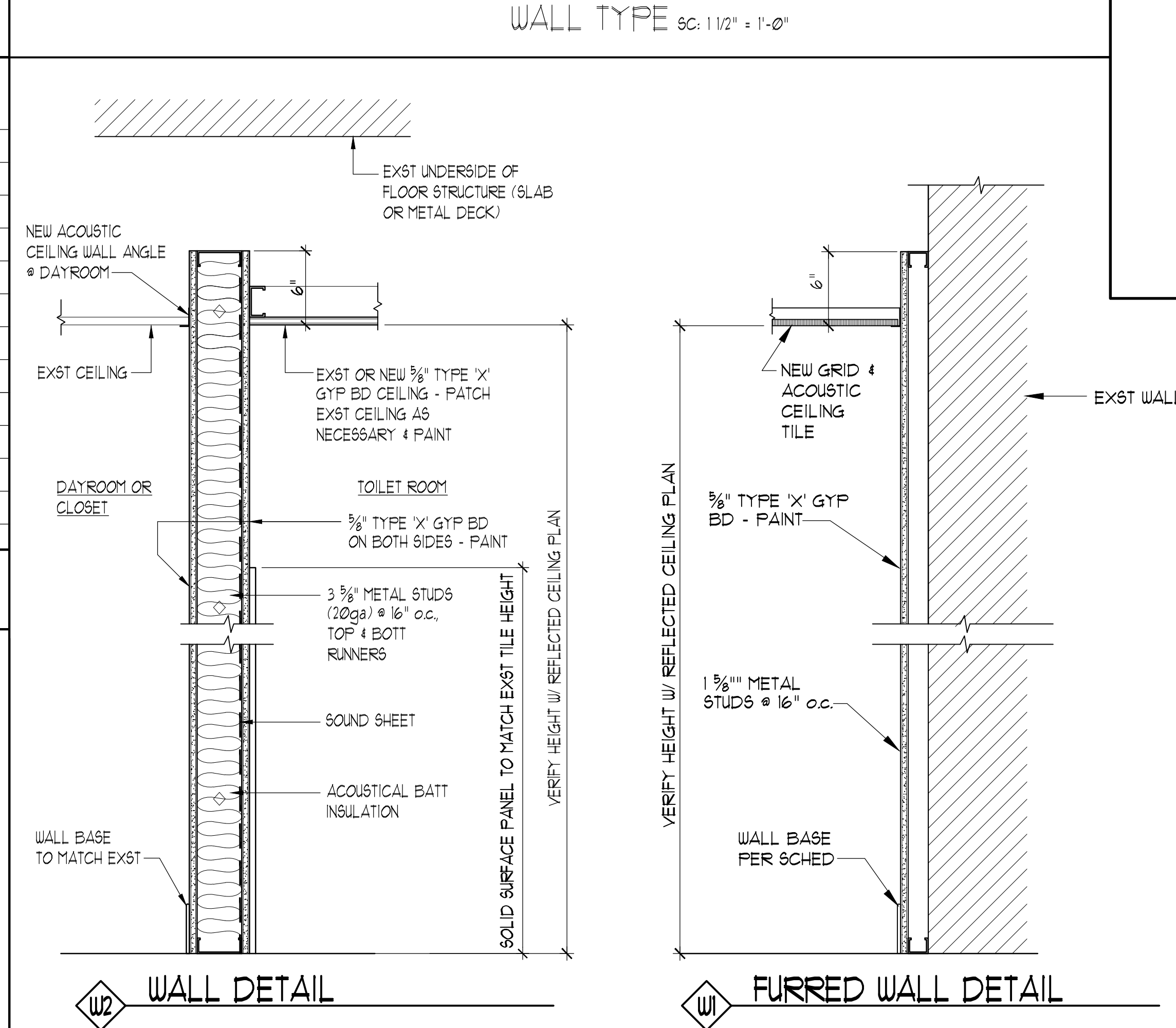
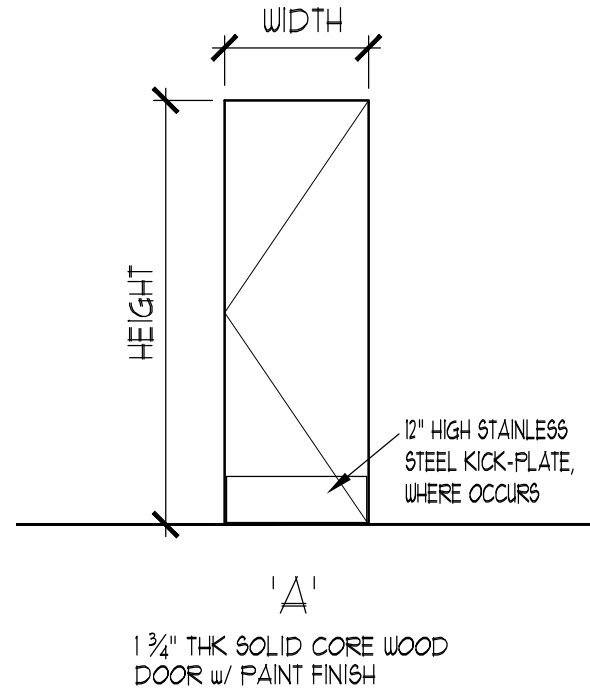
0 5 10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100



## DOOR SCHEDULE

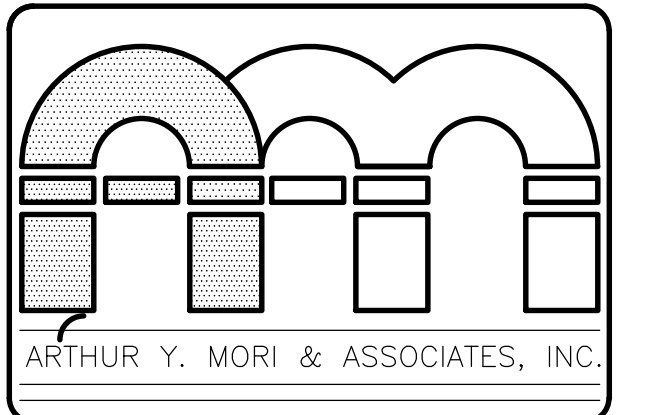
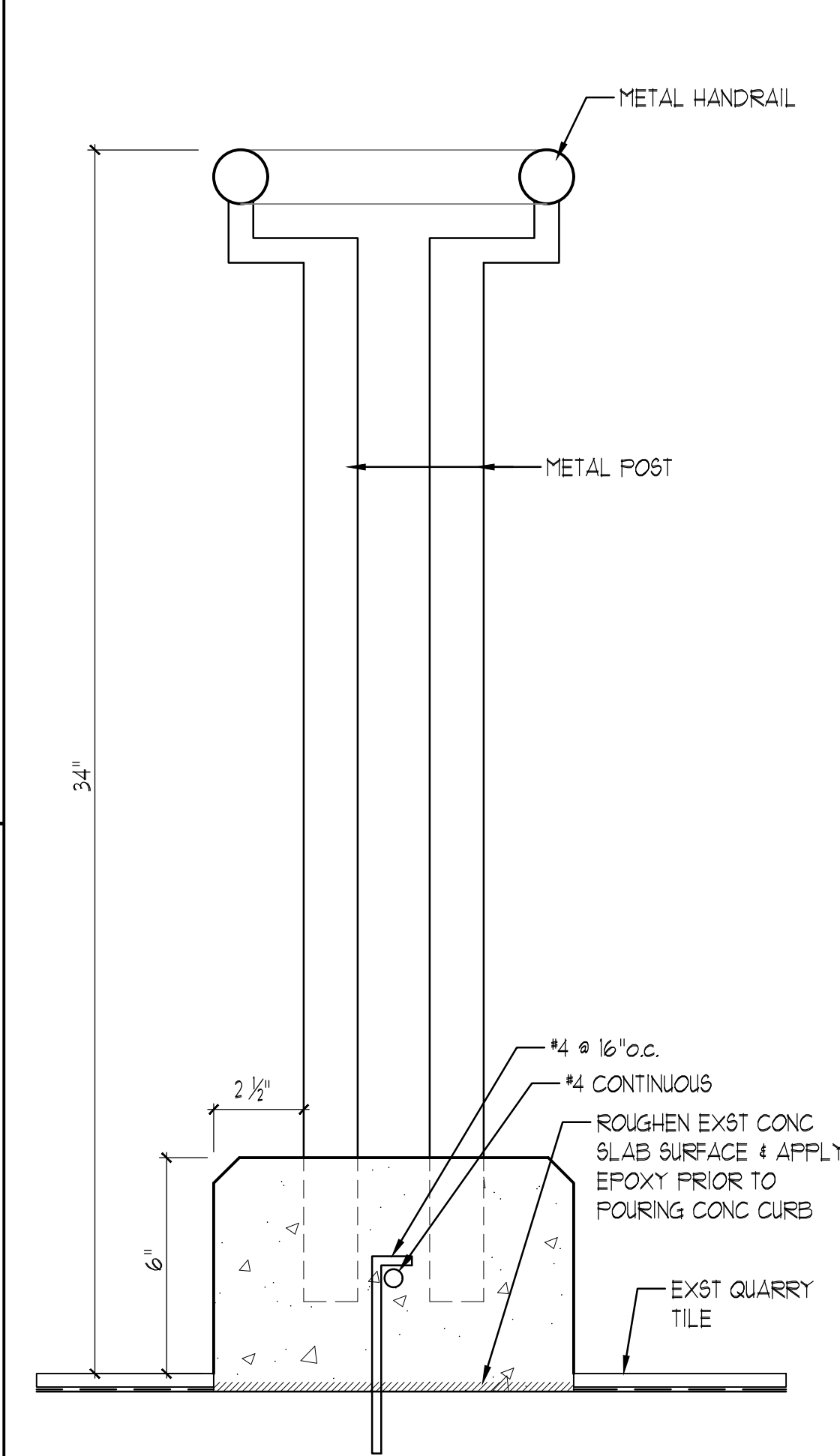
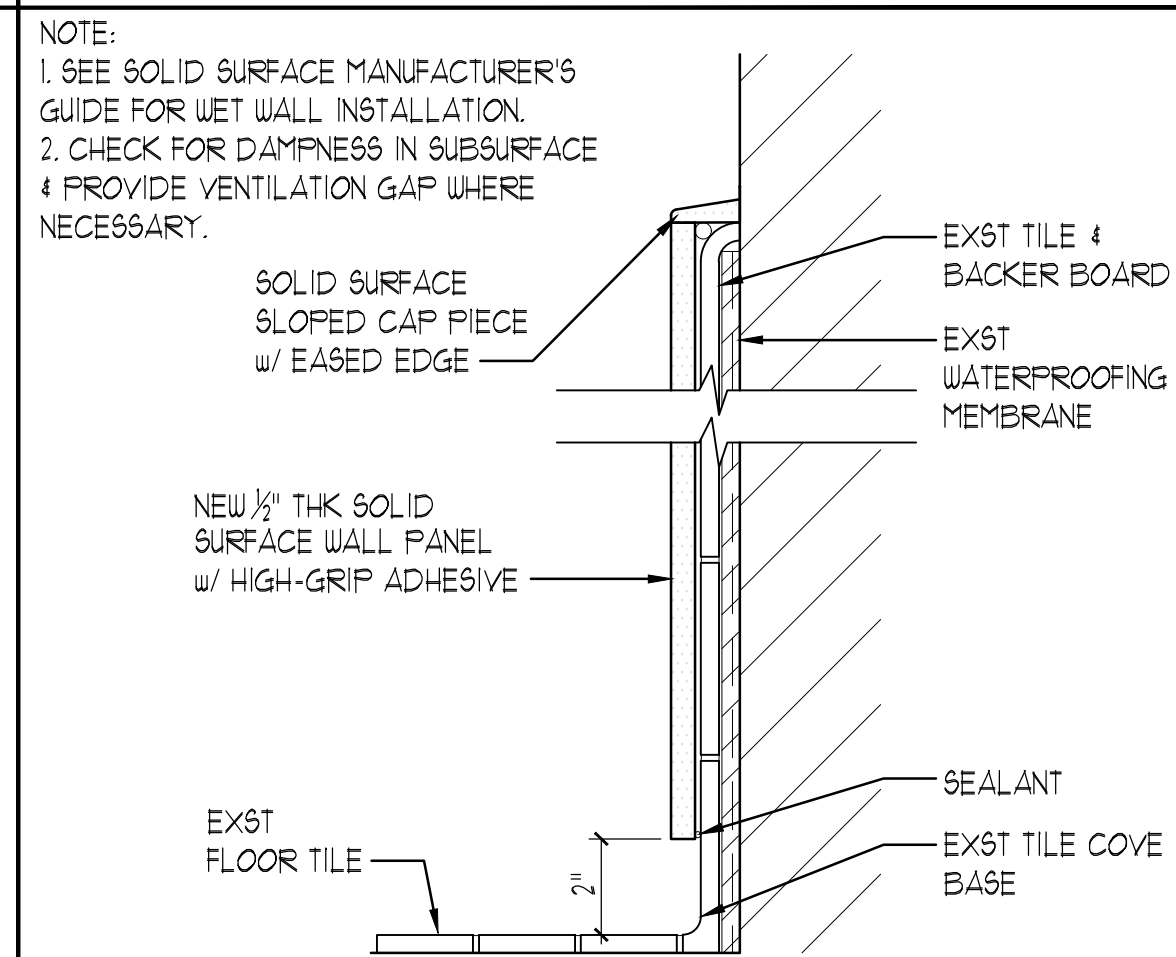
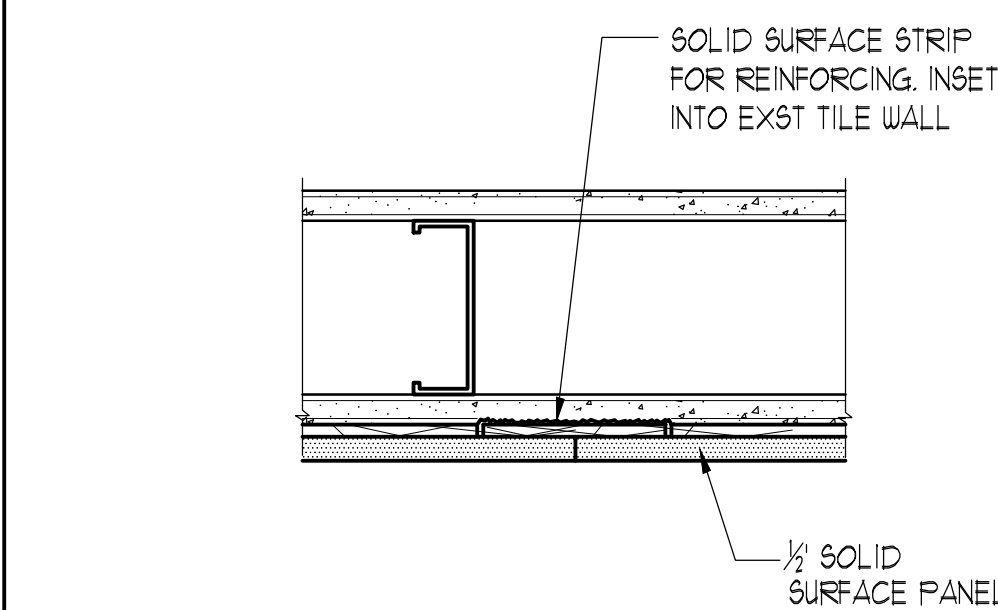
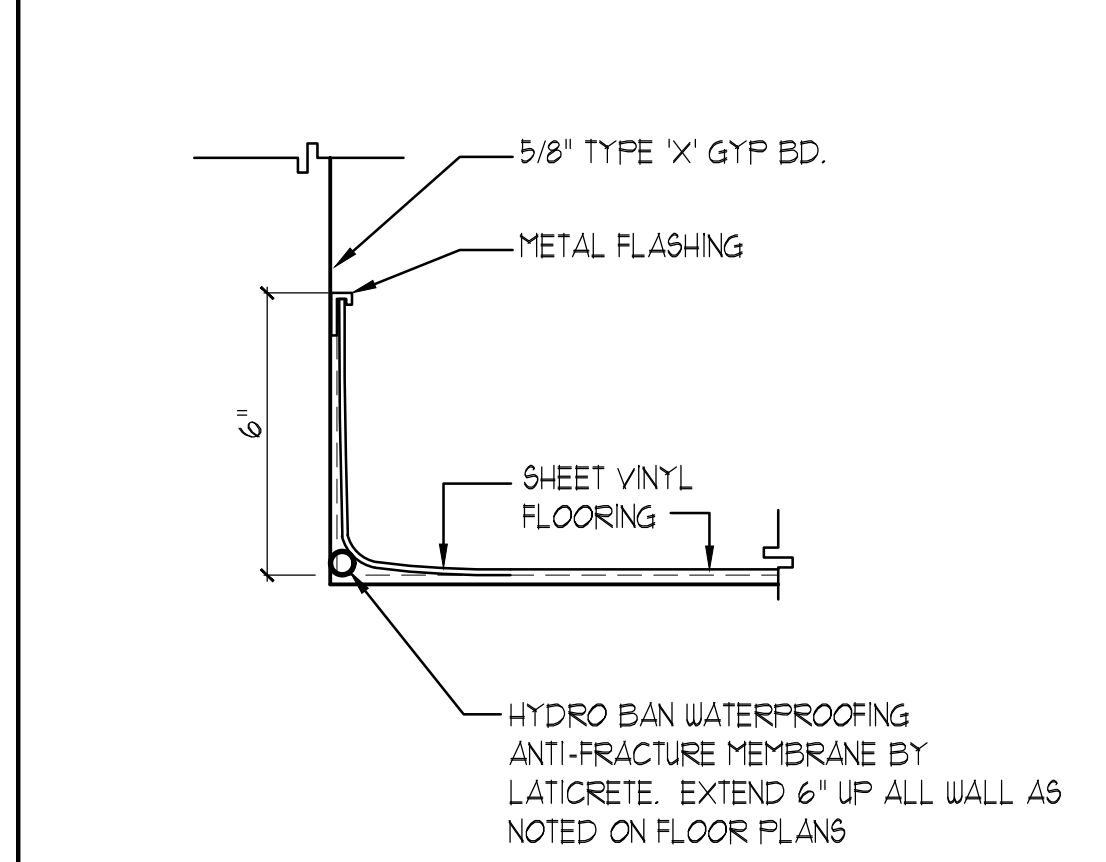
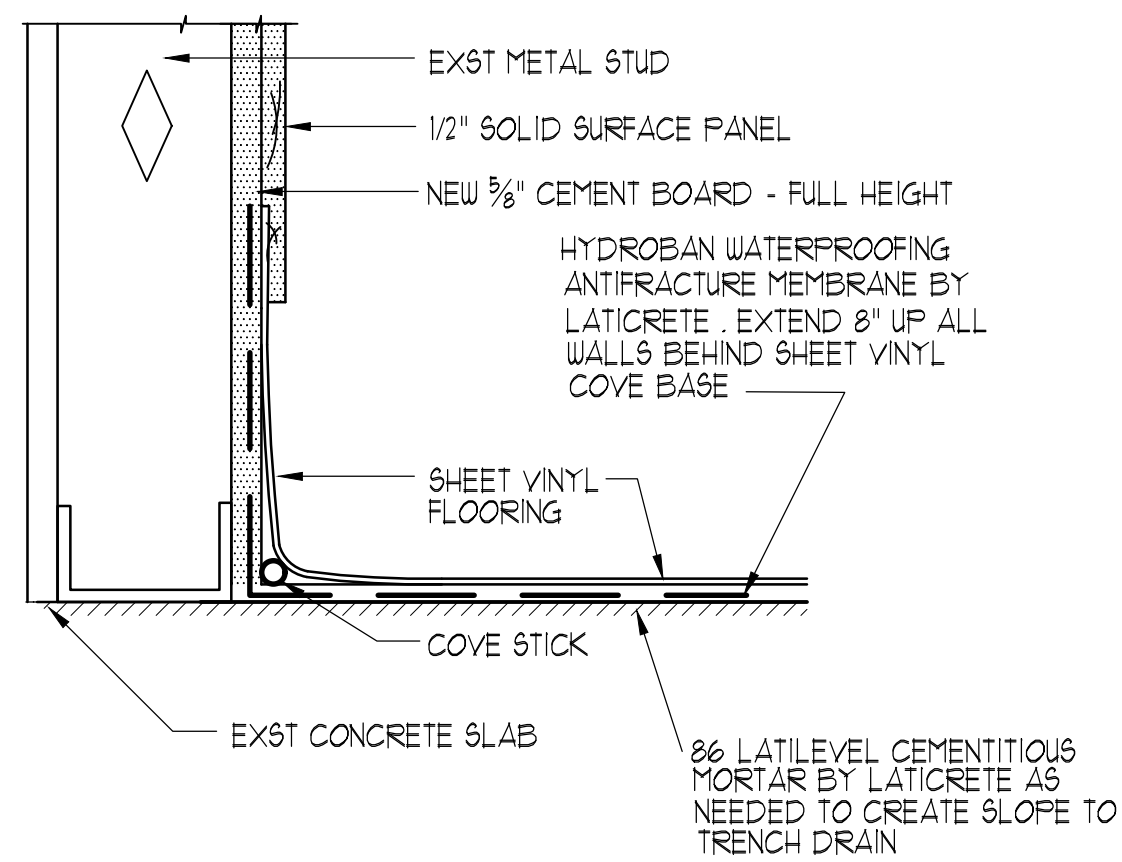
[illegible]

## DOOR TYPE



## FINISH SPECIFICATIONS

RESILIENT FLOORING	<p>SHT-1 <u>MOHAWK GROUP</u>          COLLECTION: JUNIPERUS ii          COLOR: 921 GRAY TINT          HOMOGENEOUS VINYL SHEET &amp; INTEGRAL BASE</p>	PANT	<p>PT-1 <u>BENJAMIN MOORE</u>          COLOR: WINTER WHITE OC-21          LOCATION: TYPICAL WALLS &amp; CEILING</p>
SOLID SURFACE	<p>SS-1 <u>CORIAN</u>          COLOR: CALACATTA GREIGE</p>		



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**  
Matuhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TMK: 1-6-009: 004






**DOOR SCHEDULE, DOOR & WALL TYPES, DETAILS, AND FINISH SPECIFICATIONS**



LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

SIGNATURE \_\_\_\_\_

NO.	REVISION	
		
		
		
		
		
JOB NO.	—	

SHEET      DATE    SEPT 18, 2025

A015 17 OF 32 SHTS

 $\frac{3}{4}'' = 1'-0''$



MECHANICAL GENERAL NOTES:

1. CONFORM TO ALL REQUIREMENTS OF THE 2018 IBC, 2021 UPC, 2018 IECC AND 2021 NFPA 1 CODES OF THE CITY AND COUNTY OF HONOLULU, STATE OF HAWAII HEALTH REGULATIONS, FIRE DEPARTMENT REGULATIONS, MANUFACTURER’S RECOMMENDATIONS AND OTHER APPLICABLE REGULATIONS.
2. EXAMINE ALL PROJECT PLANS AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS AND THE EXTENT OF REMOVAL, RELOCATION AND/OR NEW WORK PRIOR TO BIDDING. NOTIFY AND COORDINATE WITH THE ARCHITECT FOR ANY MAJOR DEVIATIONS OR DISCREPANCIES DISCOVERED IN THE PLANS AND SPECIFICATIONS DUE TO UNFORESEEN OR VARYING FIELD CONDITIONS.
3. INSTALLATION SHALL BE GUARANTEED TO BE FREE FROM DEFECTS FOR ONE YEAR FROM FINAL DATE OF ACCEPTANCE OF THE PROJECT AS A WHOLE.
4. CONTRACTOR SHALL VERIFY AND TAKE PHOTOS DOCUMENTING ALL FIELD CONDITIONS PRIOR TO BID AND CONSTRUCTION.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING LINE SIZES, CONDITIONS, AND INVERTS PRIOR TO BID AND CONSTRUCTION.
6. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER THE COMPLETE INSTALLATION OF SYSTEMS TO FUNCTION AS DESCRIBED AND SPECIFIED. THE OMISSION OF REFERENCE TO ANY NECESSARY ITEM OF LABOR OR MATERIAL SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING SUCH LABOR AND MATERIAL AT NO ADDITIONAL COST TO THE OWNER.
7. CAULK ALL PENETRATIONS WATERTIGHT. PROVIDE ALL CUTTING, PATCHING, AND RESTORING OF EXISTING SURFACES TO MATCH ORIGINAL SURFACE FINISHES. SPOT PAINT TO MATCH EXISTING SURFACES/COLOR.
8. ALL EQUIPMENT AND FIXTURES SHALL BE CAPABLE OF FITTING INTO THE SPACES ALLOTTED WHILE MEETING THE MANUFACTURER’S RECOMMENDED ACCESS REQUIREMENTS. REVIEW ALL SPACES WHERE EQUIPMENT AND FIXTURES ARE TO BE INSTALLED PRIOR TO ORDERING OF ITEMS AND NOTIFY THE ARCHITECT OF ANY INADEQUATE CLEARANCES OR CONDITIONS THAT WILL PREVENT THE PROPER INSTALLATION, MAINTENANCE,AND OPERATION OF THE EQUIPMENT AND FIXTURES.
9. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND DO NOT SHOW EVERY EXACT DETAIL OF PIPING AND DUCTWORK. PROVIDE OFFSETS AS NECESSARY TO AVOID LOCAL OBSTRUCTIONS OR INTERFERENCES WITH OTHER TRADES. REVIEW ALL PIPING AND DUCT RUNS PRIOR TO FABRICATION AND IMMEDIATELY NOTIFY THE ARCHITECT OF ANY INTERFERENCES AND/OR LACK OF ADEQUATE CLEARANCES.
10. SHOULD PROJECT CONDITIONS REQUIRE REARRANGEMENT OF WORK, MARK SUCH CHANGES ON THE AS-BUILT DRAWINGS. IF THESE CHANGES REQUIRE ALTERNATE METHODS TO THOSE APPROVED BY THE CONTRACT DOCUMENTS, SUBMIT SHOP DRAWINGS SHOWING THE PROPOSED ALTERNATE METHODS TO THE ARCHITECT FOR REVIEW/APPROVAL PRIOR TO PROCEEDING WITH WORK.
11. COORDINATE ALL WORK WHICH WILL AFFECT AREAS WITH BUILDING SUPERVISOR. SCHEDULE OFF-HOUR WORK WHEN REQUIRED TO MINIMIZE DISRUPTIONS.
12. COORDINATE ALL SWITCH, CONTROLS, ETC. LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION TO AVOID INTERFERENCES WITH PAINTING, FURNITURE, ETC. ANY ITEM NOT PROPERLY COORDINATED SHALL BE RELOCATED AT NO ADDITIONAL COST TO THE OWNER.
13. COORDINATE ALL WORK WITH OTHER TRADES TO AVOID INTERFERENCES AND DELAYS.
14. SEISMICALLY BRACE ALL EQUIPMENT, PIPING, AND DUCTWORK IN ACCORDANCE WITH THE CURRENT BUILDING CODE AND THEIR RESPECTIVE SEISMIC ZONE LOCATIONS.
15. AFTER CONNECTION OF NEW FIXTURES TO WASTE, CLEANOUT/SNAKE EXISTING LINES FOR PROPER OPERATION.
16. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL NOTES.
17. VERIFY AND COORDINATE ALL WALL AND FLOOR PENETRATIONS WITH THE ARCHITECTURAL DRAWINGS PRIOR TO THE START OF CONSTRUCTION.
18. OBTAIN APPROVAL FROM THE ARCHITECT BEFORE MAKING ANY PENETRATIONS THROUGH STRUCTURAL MEMBERS, WALLS, AND SLABS.
19. VERIFY THE EXACT LOCATION, SIZE, AND INVERT OF ALL EXISTING SANITARY AND WATER LINES AT THE NEW POINT OF CONNECTION PRIOR TO THE START OF CONSTRUCTION.
20. LOCATE ALL UTILITY LINES OR OTHER INTERFERENCES IN AREAS OF PROPOSED WORK PRIOR TO START OF REMOVAL. REPAIR OR PAY FOR ALL DAMAGES TO EXISTING UTILITIES.

FIRE SPRINKLER GENERAL NOTES:

1. THE ENTIRE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE BUILDING CODE OF THE CITY & COUNTY OF HONOLULU, STATE DEPARTMENT OF HEALTH REGULATIONS, UNIFORM PLUMBING CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION, NATIONAL ELECTRICAL CODE, HAWAII STATE MODEL ENERGY CODE, AND ALL OTHER AGENCIES HAVING JURISDICTION.
2. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER THE COMPLETE INSTALLATION OF SYSTEMS TO FUNCTION AS DESCRIBED AND SPECIFIED. THE OMISSION OF REFERENCE TO ANY NECESSARY ITEM OF LABOR OR MATERIAL SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING SUCH LABOR AND MATERIAL
3. ALL EQUIPMENT SHALL BE CAPABLE OF FITTING INTO THE SPACES ALLOCATED WHILE MEETING THE MANUFACTURER’S RECOMMENDED ACCESS REQUIREMENTS. REVIEW ALL SPACES WHERE EQUIPMENT IS TO BE INSTALLED PRIOR TO ORDERING OF EQUIPMENT AND NOTIFY THE ENGINEER OF ANY INADEQUATE CLEARANCES OR CONDITIONS THAT WILL PREVENT THE PROPER INSTALLATION, MAINTENANCE, AND OPERATION OF THE EQUIPMENT.
4. OBTAIN APPROVAL FROM THE ARCHITECT BEFORE MAKING ANY PENETRATIONS THROUGH STRUCTURAL MEMBERS, WALLS, AND SLABS.
5. REPAIR ANY DAMAGE TO EXISTING CONSTRUCTION RESULTING FROM THE INSTALLATION OF FIRE SPRINKLER ITEMS. THE AREAS REPAIRED SHALL MATCH THE ADJACENT SURFACES IN TEXTURE AND COLOR.
6. STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF 2021 NFPA 1.

AUTOMATIC FIRE SPRINKLER SYSTEM NOTES:

1. PROVIDE COMPLETE FIRE SPRINKLER COVERAGE IN ACCORDANCE WITH NFPA 13, 2019 EDITION.
2. THESE PLANS WERE PREPARED FOR PRICING AND GENERAL CONFORMANCE REQUIREMENTS ONLY; THE CONTRACTOR IS RESPONSIBLE FOR THE ACTUAL DESIGN AND LAYOUT. THE LOCATION OF PIPING, SPRINKLERS, AND ACCESSORIES, AND QUANTITY OF FIRE SPRINKLERS ARE APPROXIMATE. CONTRACTOR SHALL ALSO VERIFY THE ROUTING OF PIPING AND LOCATION OF ACCESSORIES PRIOR TO INSTALLATION. ALL DEVIATIONS FROM THE PRELIMINARY PLANS SHALL BE CLEARLY INDICATED ON THE COMPLETE WORKING PLANS FOR THE APPROVAL BY THE ENGINEER PRIOR TO INSTALLATION.
3. HANGERS FOR FIRE SPRINKLER PIPING SHALL BE IN ACCORDANCE TO NFPA 13.
4. FIRE SAFETY DURING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CHAPTER 16 OF NFPA 1, 2021.
5. FIRESTOP ALL PIPE AND CONDUIT PENETRATIONS THROUGH FIRE RATED WALLS.
6. ALL DEVICES AND EQUIPMENT SHALL BE UL LISTED AND FM APPROVED.
7. ALL SPRINKLERS SHALL BE APPROVED QUICK RESPONSE TYPE.
8. PIPE AND FITTINGS SHALL COMPLY WITH NFPA 13, EXCEPT THAT ALL PIPING SHALL BE HARD DRAWN COPPER WITH SILVER SOLDER OR BRAZED FITTINGS, OR CARBON STEEL WITH CORROSION--RESISTANT COATINGS. PROVIDE HOT DIPPED GALVANIZED PIPE AND FITTINGS ON ALL STEEL PIPING INCLUDING THE RISER.
9. PIPING SHALL BE PROVIDED WITH EARTHQUAKE PROTECTION IN ACCORDANCE WITH NFPA 13.
10. PROVIDE INSPECTION AND HYDROSTATIC TESTS IN ACCORDANCE WITH NFPA 13 CHAPTER 8. PRIOR TO HYDROSTATIC TESTS THE CONTRACTOR SHALL PERFORM AN AIR PRESSURE TEST TO LOCATE POTENTIAL LEAKAGE POINTS. INSPECTION AND TESTS SHALL BE CERTIFIED IN ACCORDANCE WITH HONOLULU FIRE DEPARTMENT REQUIREMENTS. CONTRACTOR SHALL TAG SYSTEM AND SUBMIT TEST REPORT IN ACCORDANCE TO HFD REQUIREMENTS.
11. SPECIAL INSPECTIONS FOR AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH HONOLULU BUILDING CODE AMENDMENTS TO SECTION 1701.5.14
12. 13.3.3.5.1.5 STOCK OF SPARE SPRINKLERS. A SUPPLY OF AT LEAST SIX SPARE SPRINKLERS SHALL BE MAINTAINED ON THE PREMISES SO THAT ANY SPRINKLERS THAT HAVE OPERATED OR BEEN DAMAGED IN ANY WAY CAN BE PROMPRLY REPLACED.
13. 13.3.3.5.1.5.2 THE SPRINKLERS SHALL BE KEPT IN A CABINET LOCATED WHERE THE TEMPERATURE IN WHICH THEY ARE SUBJECTED WILL AT NO TIME EXCEED THE MAXIMUM CEILING TEMPERATURE OF 100°F (38°C).
14. 13.3.3.5.1.5.4 THE STOCK OF SPARE SPRINKLERS SHALL INCLUDE ALL TYPES AND RATINGS INSTALLED AND SHALL BE AS FOLLOWS:

1. FOR PROTECTED FACILITIES HAVING UNDER 300 SPRINKLERS – NO FEWER THAN 6 SPRINKLERS.

2. FOR PROTECTED FACILITIES HAVING 300 TO 1000 SPRINKLERS – NO FEWER THAN 12 SPRINKLERS.

3. FOR PROTECTED FACILITIES HAVING OVER 1000 SPRINKLERS – NO FEWER THAN 24 SPRINKLERS.
15. 13.3.3.5.1.5.5 ONE SPRINKLER WRENCH AS SPECIFIED BY THE SPRINKLER MANUFACTURER SHALL BE PROVIDED IN THE CABINET FOR EACH TYPE OF SPRINKLER INSTALLED TO BE USED FOR THE REMOVAL AND INSTALLATION OF SPRINKLERS IN THE SYSTEM.

BWS F.U. COUNT			
DEMOLITION WORK			
FIXTURE	QUANTITY	F.U. EACH	SUBTOTAL F.U.
ACCESSIBLE LAVATORY	2	1.0	1.8
ACCESSIBLE SHOWER	34	2.0	54.4
ACCESSIBLE WATER CLOSET (FLUSH VALVE)	58	4.0	193.8
TOTAL			252.8 FU 102.0 GPM 4080.0 GPD

PROPOSED WORK			
FIXTURE	QUANTITY	F.U. EACH	SUBTOTAL F.U.
ACCESSIBLE LAVATORY	3	1.0	1.8
ACCESSIBLE SHOWER	34	2.0	54.4
ACCESSIBLE WATER CLOSET (FLUSH VALVE)	57	4.0	193.8
TOTAL			250.0 FU 101.0 GPM 4040.0 GPD

NOTES:

1. THERE IS NO PROPOSED AC SYSTEM THAT WILL AFFECT THE WATER DEMAND.

2. THERE IS NO PROPOSED IRRIGATION SYSTEM.

MECHANICAL LEGEND		
SYMBOL	ABBREV.	DESCRIPTION
GENERAL		
	CLG	CEILING
	DN	DOWN
(E)	EXST	EXISTING (TO REMAIN)
	FLR	FLOOR
(N)		NEW
	POC	POINT OF CONNECTION
	POR	POINT OF REMOVAL
(RE)		RELOCATE
	W/	WITH
MECHANICAL		
	CFM	CUBIC FEET PER MINUTE
	DT	DUCT
	EAR	EXHAUST AIR REGISTER
	RAR	RETURN AIR REGISTER
	VD	VOLUME DAMPER
PLUMBING		
	ALAV	ACCESSIBLE LAVATORY
	ASH	ACCESSIBLE SHOWER
	AWC	ACCESSIBLE WATER CLOSET
	CO	CLEANOUT
	CW	COLD WATER
	HW	HOT WATER
	LAV	LAVATORY
	MS	MOP SINK
	S	SANITARY
	SK	SINK
	V	VENT
	WC	WATER CLOSET
FIRE PROTECTION		
	FS	FIRE SPRINKLER
		RECESSED PENDANT FIRE SPRINKLER HEAD

ARTHUR Y. MORI & ASSOCIATES, INC.

ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

ADA RENOVATIONS  
Maluhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TKK: 1-6-009: 004

Bid Set

LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 15-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

*Ross R. Tanaka*  
SIGNATURE

NO.	REVISION

JOB NO. -

SHEET M001

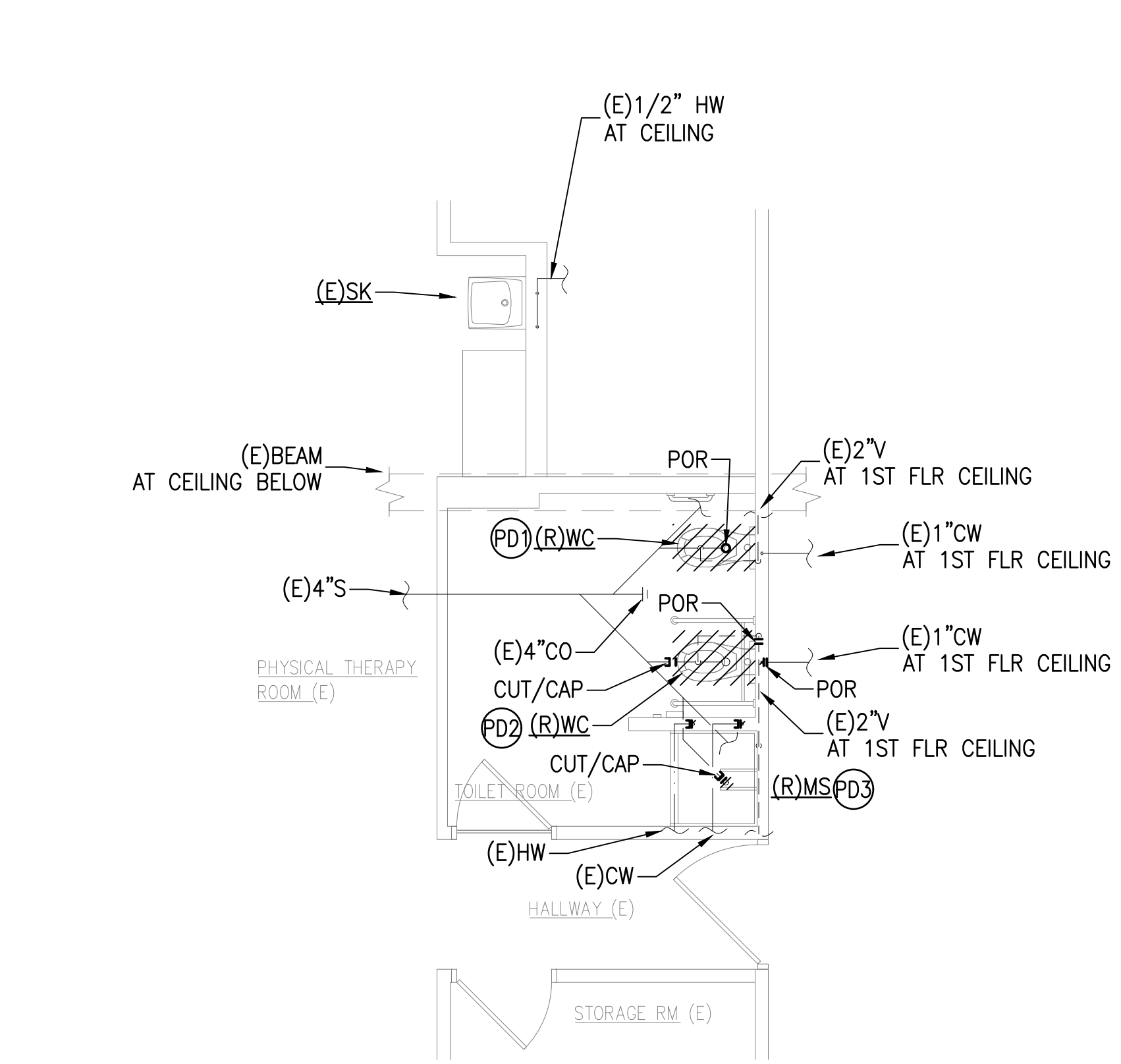
DATE SEPT 18, 2025

18 OF 32 SHTS

GRAPHIC SCALES

1 2 3 4 5 6 10 20 40 1/8"=1'-0" 1/4"=1'-0" 3/8"=1'-0" 1/2"=1'-0"

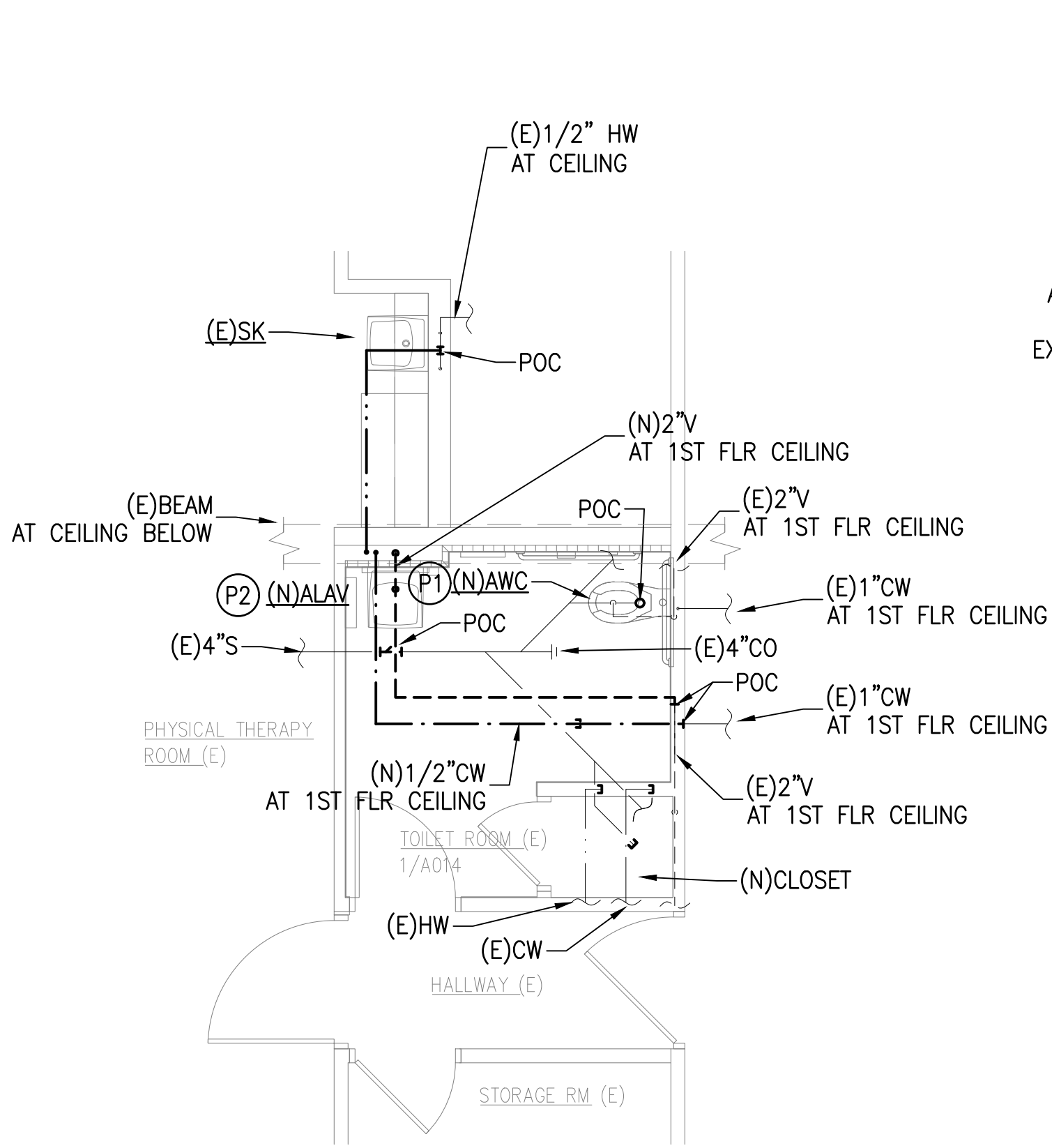




1 FIRST FLOOR PARTIAL PLUMBING DEMOLITION PLAN  
SCALE: 1/4" = 1' - 0"

### PLUMBING DEMOLITION NOTES

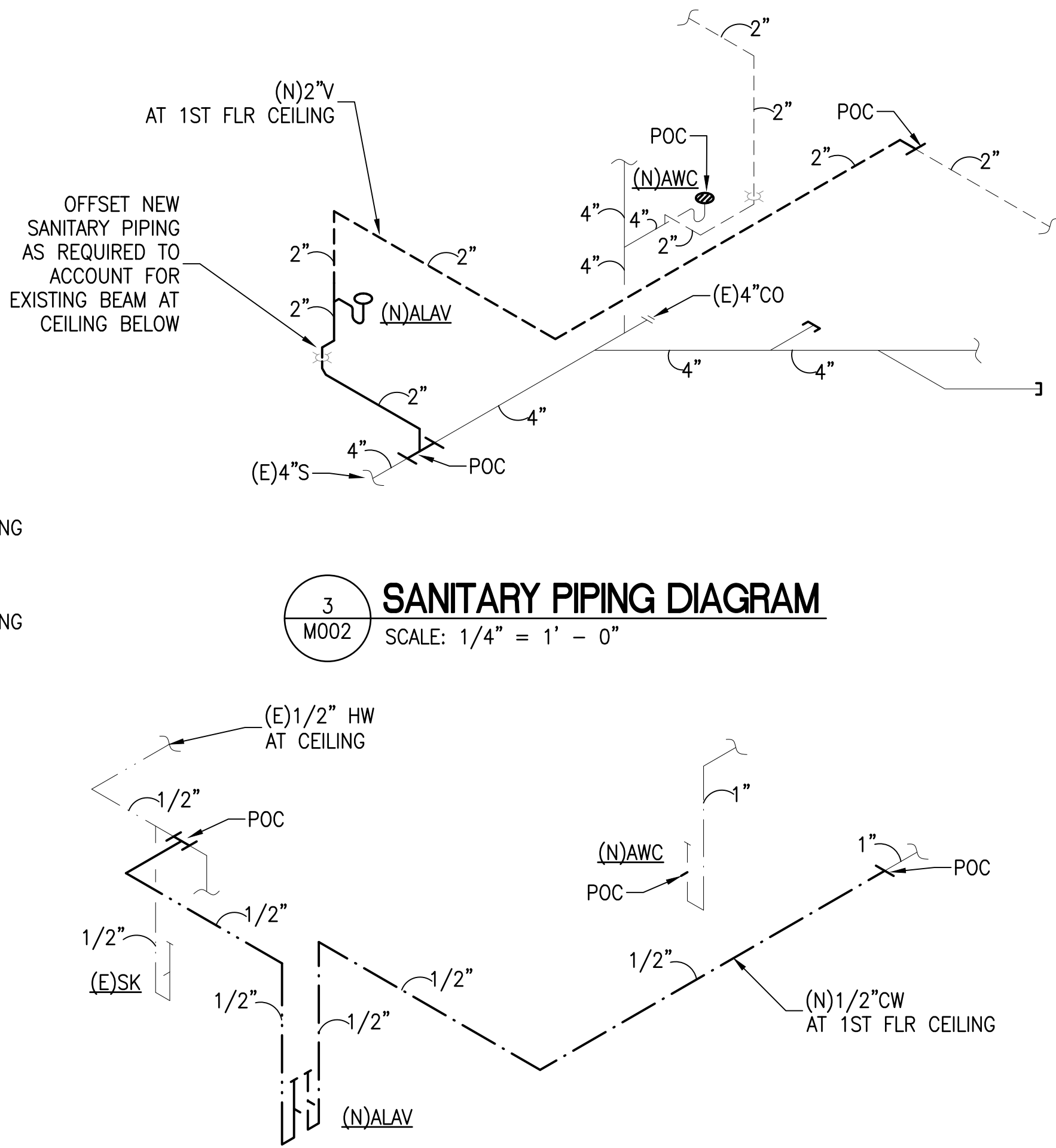
- (PD1) REMOVE EXISTING WATER CLOSET COMPLETE. REMOVE SANITARY AND CW PIPING AS REQUIRED TO ACCOMMODATE FOR ARCH NEW SCOPE OF WORK. EXISTING SANITARY, CW, AND VENT PIPING TO REMAIN FOR CONNECTION TO NEW WC AS SHOWN IN NEW PLUMBING PLAN. PATCH/REPAIR SURFACES AS REQUIRED TO MATCH ADJACENT. CONTRACTOR TO FIELD VERIFY.
- (PD2) REMOVE WATER CLOSET COMPLETE. REMOVE ASSOCIATED CW AND VENT PIPING UP TO POR AND CUT/CAP SANITARY PIPING AS SHOWN. PATCH/REPAIR SURFACES AS NEEDED TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.
- (PD3) REMOVE EXISTING MOP SINK COMPLETE. CUT/CAP SANITARY AND WATER SUPPLY PIPING AND ABANDON PIPING AS SHOWN. PATCH/REPAIR SURFACES AS NEEDED TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.



2 FIRST FLOOR PARTIAL NEW PLUMBING PLAN  
SCALE: 1/4" = 1' - 0"

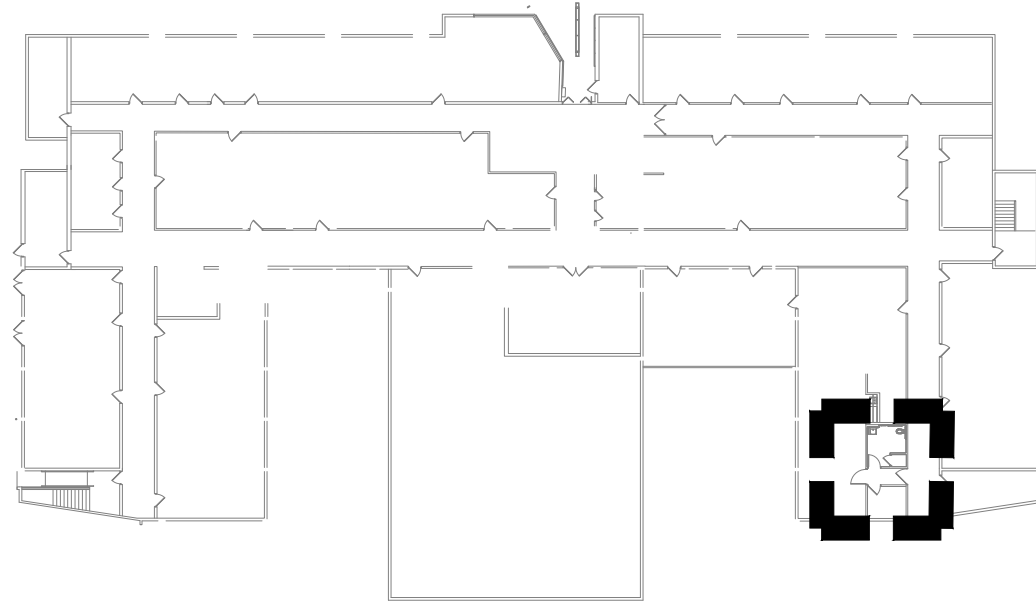
### NEW PLUMBING NOTES

- (P1) PROVIDE NEW ACCESSIBLE WATER CLOSET COMPLETE. CONNECT NEW AWC TO EXISTING SANITARY AND CW PIPING AS SHOWN. PROVIDE NEW FLUSH VALVE WITH BED PAN WASHER. PROVIDE NEW SEAT, SUPPLY STOP, SUPPLY TUBING, AND ASSOCIATED ACCESSORIES. PROVIDE NEW SANITARY AND CW PIPING AS REQUIRED. ENSURE INSTALLATION IS IN COMPLIANCE WITH ADAAG 2010 SECTION 604. PATCH/REPAIR SURFACES AS NEEDED TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.
- (P2) PROVIDE NEW ACCESSIBLE LAVATORY COMPLETE. PROVIDE NEW P-TRAP, FAUCET, SUPPLY STOPS, AND ASSOCIATED ACCESSORIES. PROVIDE NEW SANITARY, VENT, HW, AND CW PIPING AS REQUIRED TO CONNECT TO EXISTING AS SHOWN. PROVIDE NEW FLOOR MOUNTED WALL SUPPORTS AND ACCESSORIES AS REQUIRED. ENSURE INSTALLATION IS IN COMPLIANCE WITH ADAAG 2010 SECTION 606. PATCH/REPAIR SURFACES AS NEEDED TO MATCH ADJACENT SURFACE. CONTRACTOR TO FIELD VERIFY.

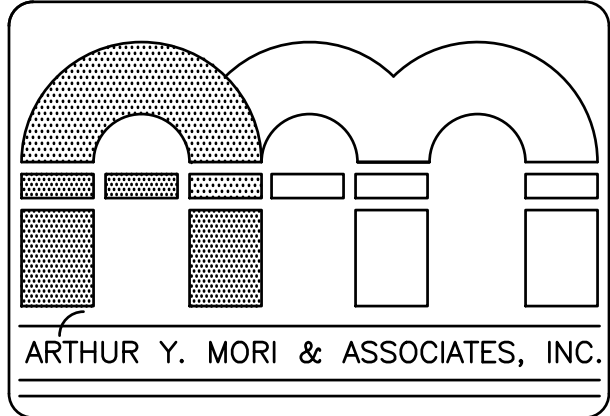
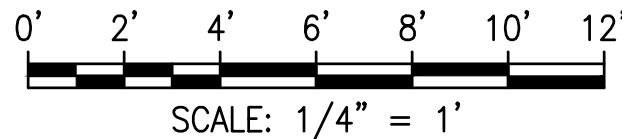


3 SANITARY PIPING DIAGRAM  
SCALE: 1/4" = 1' - 0"

4 COLD WATER PIPING DIAGRAM  
SCALE: 1/4" = 1' - 0"



5 KEY PLAN  
SCALE: NOT TO SCALE

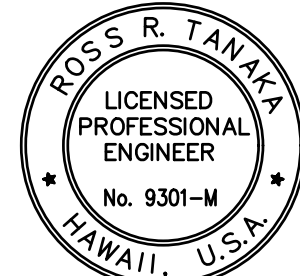


ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

ADA RENOVATIONS  
Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TWK: 1-6-009: 004

Bid Set



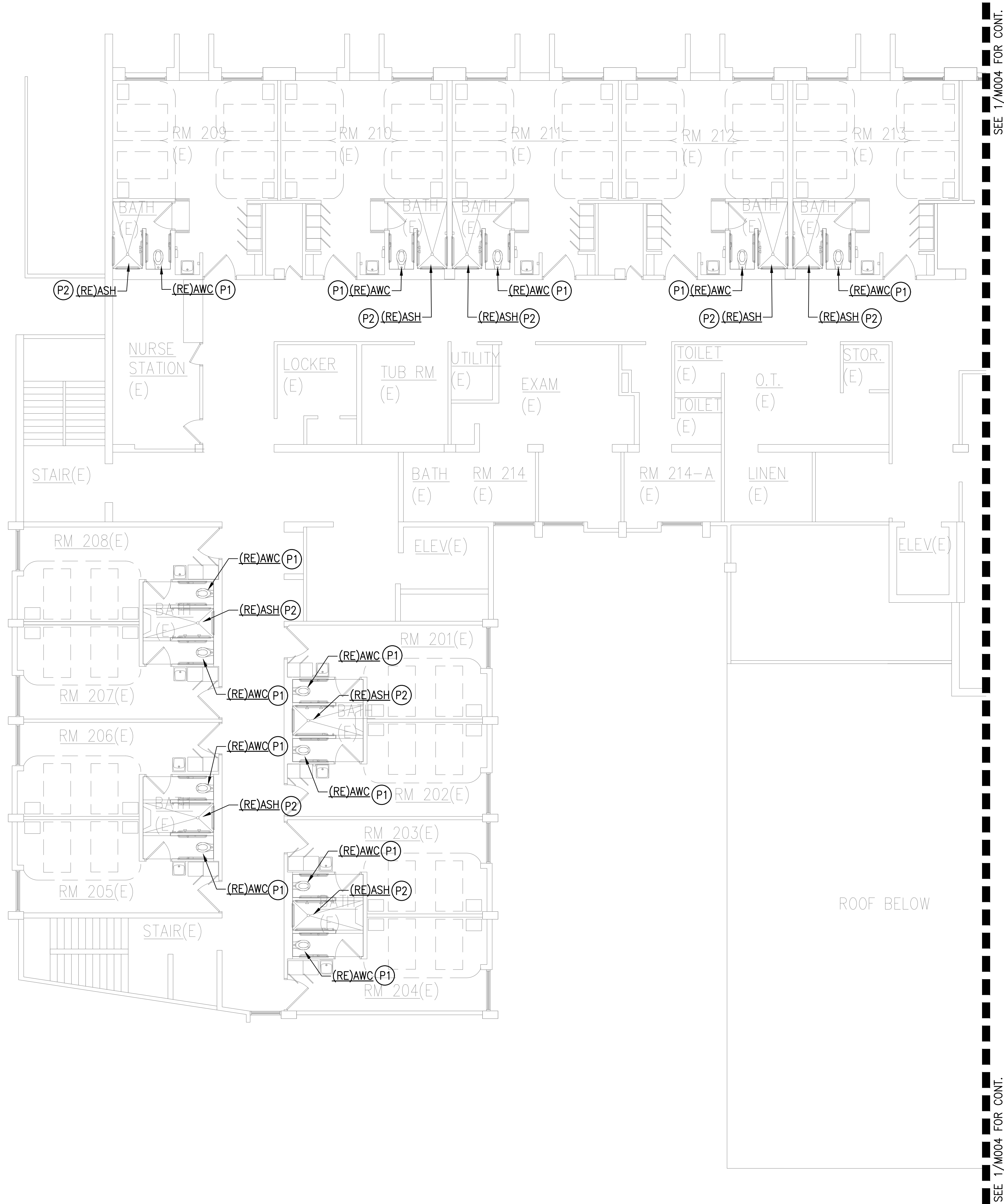
LICENSE EXPIRES: 4/30/26  
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-113 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

Signature

NO.	REVISION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	
41	
42	
43	
44	
45	
46	
47	
48	
49	
50	
51	
52	
53	
54	
55	
56	
57	
58	
59	
60	
61	
62	
63	
64	
65	
66	
67	
68	
69	
70	
71	
72	
73	
74	
75	
76	
77	
78	
79	
80	
81	
82	
83	
84	
85	
86	
87	
88	
89	
90	
91	
92	
93	
94	
95	
96	
97	
98	
99	
100	

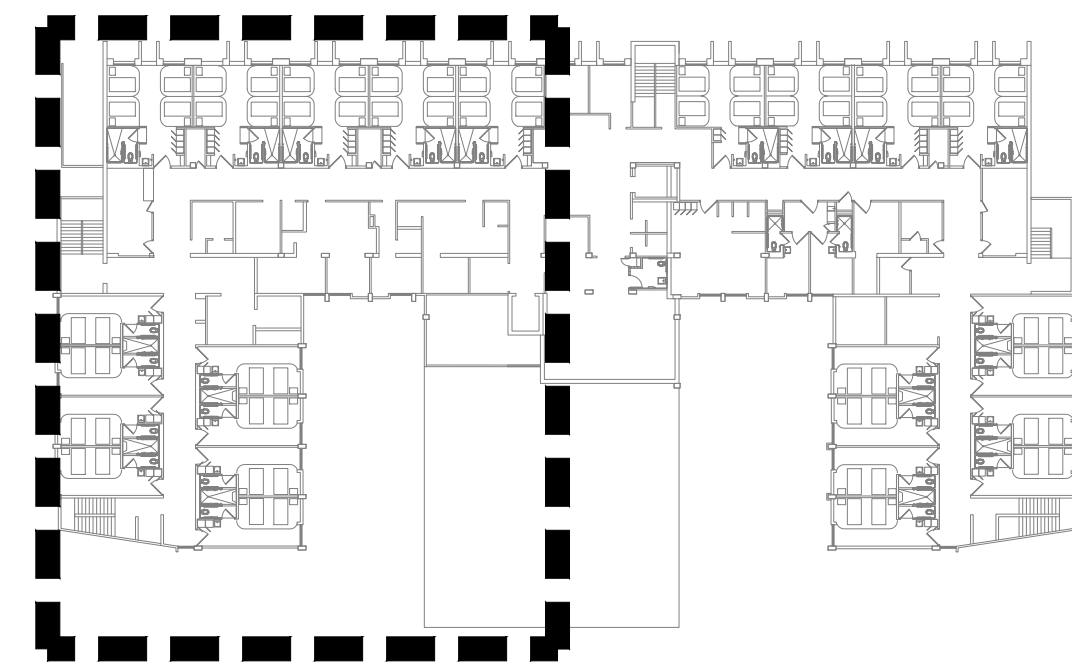
SHEET  
M002  
DATE SEPT 18, 2025  
19 OF 32 SHTS





### PLUMBING WORK NOTES

- (P1) REMOVE AND REINSTALL EXISTING WATER CLOSET COMPLETE. REMOVE AND MODIFY SANITARY, CW, AND VENT PIPING AS REQUIRED TO ACCOMMODATE FOR ARCHITECT NEW SCOPE OF WORK. EXISTING SUPPLY STOPS, SUPPLY TUBING, WAX RING, AND ASSOCIATED ACCESSORIES ARE TO BE REMOVED AND REPLACED WITH NEW. REUSE AND REINSTALL EXISTING FLUSH VALVE. ENSURE ITEMS TO BE REUSED ARE NOT DAMAGED. NOTIFY ARCHITECT IMMEDIATELY FOR ITEMS THAT ARE NOT REUSABLE. PROVIDE NEW SANITARY, CW, AND VENT PIPING AS REQUIRED TO RECONNECT TO EXISTING. ENSURE REINSTALLATION IS IN COMPLIANCE WITH ADAAG 2010 SECTION 604. PATCH/REPAIR SURFACES TO MATCH EXISTING AND ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.
- (P2) REMOVE AND REINSTALL ACCESSIBLE SHOWER CONTROL VALVE ASSEMBLY COMPLETE. CHECK EXISTING SHOWER CONTROL MODEL AND CONFIRM WITH MANUFACTURER FOR CONTROL EXTENSION KITS. PROVIDE NEW SHOWER CONTROL EXTENSION KITS AS REQUIRED TO ACCOMMODATE FOR ARCHITECT MODIFICATIONS TO WALL. PROVIDE NEW CW AND HW PIPING AND EXTEND AS REQUIRED TO REINSTALL ASH OVER NEW SOLID WALL PANELS. SEE ARCH FOR MORE INFORMATION ON FIXTURE LOCATIONS. ENSURE REINSTALLATION IS IN COMPLIANCE WITH ADAAG 2010 SECTION 608. PATCH/REPAIR SURFACES TO MATCH EXISTING AND ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.

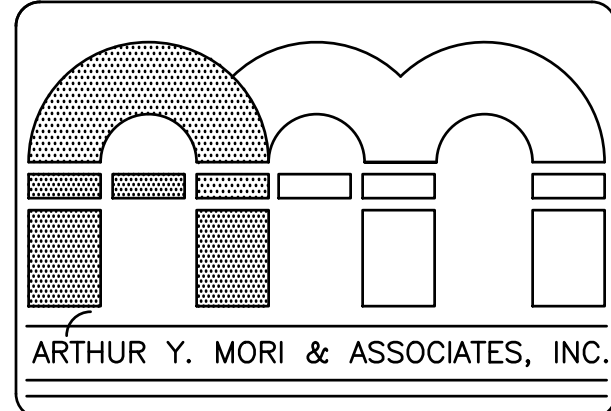


2 KEY PLAN  
M003 SCALE: NOT TO SCALE



0' 4' 8' 12' 16' 20' 24'  
SCALE: 1/8" = 1'

1 SECOND FLOOR PARTIAL PLUMBING PLAN  
M003 SCALE: 1/8" = 1' - 0"



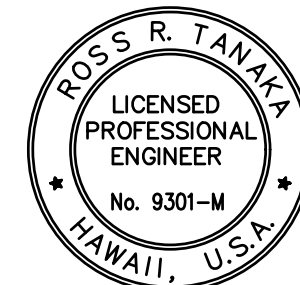
ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

ADA RENOVATIONS  
Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TWK: 1-6-009: 004

Bid Set

SHEET TITLE



LICENSE EXPIRES: 4/30/26  
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 15-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

Signature

NO.	REVISION
△	
△	
△	
△	
△	
JOB NO.	-

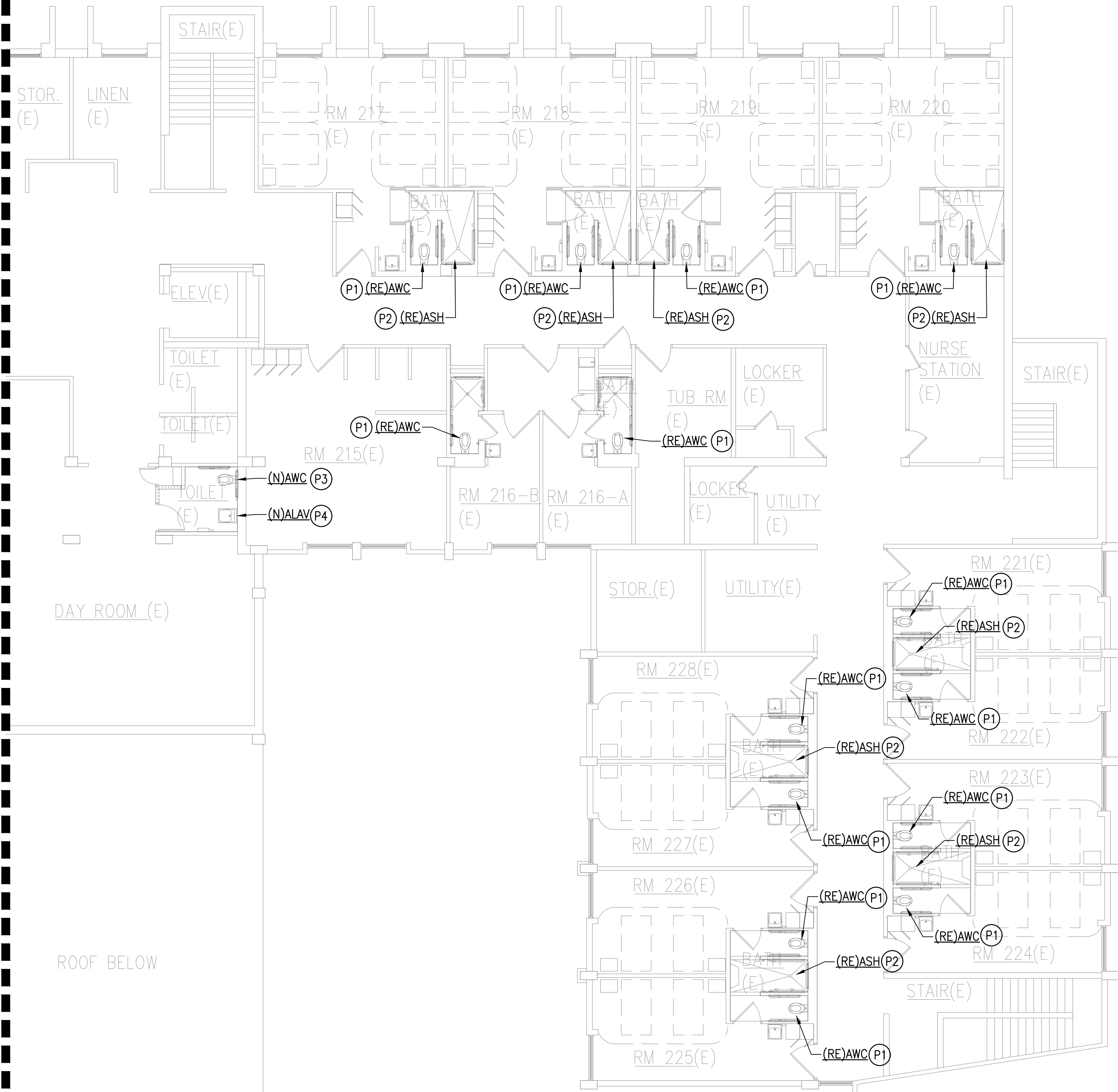
SHEET M003  
DATE SEPT 18, 2025  
20 OF 32 SHTS

GRAPHIC SCALES 1 2 3 4 5 10 20 40 1/8"=1'-0" 1/4"=1'-0" 1/2"=1'-0" 3/4"=1'-0"



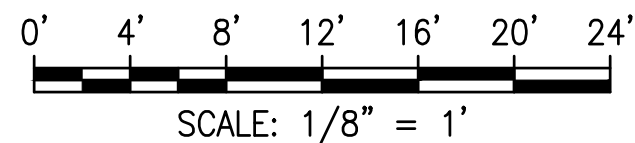
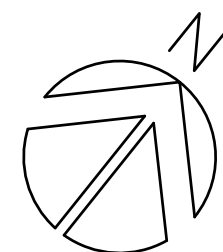
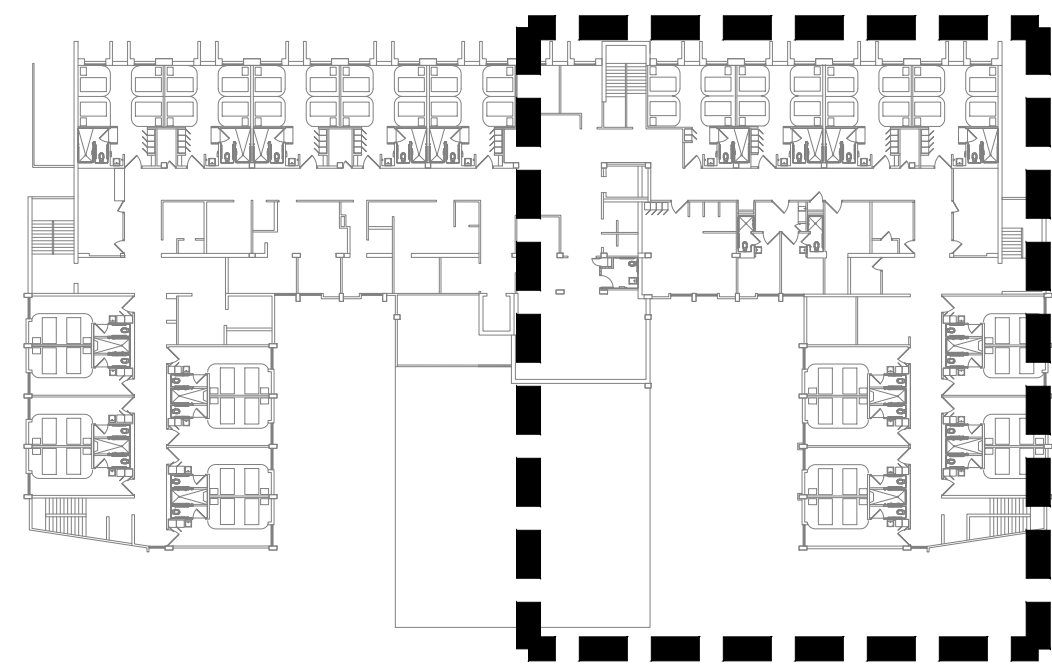
SEE 1/M003 FOR CONT.

SEE 1/M003 FOR CONT.

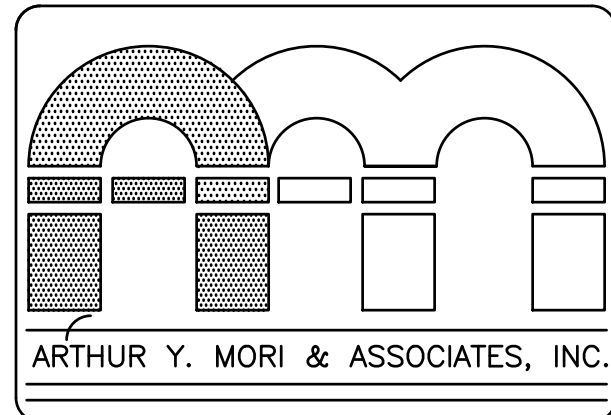


### PLUMBING WORK NOTES

- (P1) REMOVE AND REINSTALL EXISTING WATER CLOSET COMPLETE. REMOVE AND MODIFY SANITARY, CW, AND VENT PIPING AS REQUIRED TO ACCOMMODATE FOR ARCHITECT NEW SCOPE OF WORK. EXISTING SUPPLY STOPS, SUPPLY TUBING, WAX RING, AND ASSOCIATED ACCESSORIES ARE TO BE REMOVED AND REPLACED WITH NEW. REUSE AND REINSTALL EXISTING FLUSH VALVE. ENSURE ITEMS TO BE REUSED ARE NOT DAMAGED. NOTIFY ARCHITECT IMMEDIATELY FOR ITEMS THAT ARE NOT REUSABLE. PROVIDE NEW SANITARY, CW, AND VENT PIPING AS REQUIRED TO RECONNECT TO EXISTING. ENSURE REINSTALLATION IS IN COMPLIANCE WITH ADAAG 2010 SECTION 604. PATCH/REPAIR SURFACES TO MATCH EXISTING AND ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.
- (P2) REMOVE AND REINSTALL ACCESSIBLE SHOWER HEAD, HAND HELD SHOWER, SHOWER CONTROLS COMPLETE. CHECK EXISTING SHOWER CONTROL MODEL AND CONFIRM WITH MANUFACTURER FOR CONTROL EXTENSION KITS. PROVIDE NEW SHOWER CONTROL EXTENSION KITS AS REQUIRED TO ACCOMMODATE FOR ARCHITECT MODIFICATIONS TO WALL. PROVIDE NEW CW AND HW PIPING AND EXTEND AS REQUIRED TO REINSTALL ASH OVER NEW SOLID WALL PANELS. SEE ARCH FOR MORE INFORMATION ON FIXTURE LOCATIONS. ENSURE REINSTALLATION IS IN COMPLIANCE WITH ADAAG 2010 SECTION 608. PATCH/REPAIR SURFACES TO MATCH EXISTING AND ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.
- (P3) REMOVE EXISTING WATER CLOSET COMPLETELY AND REPLACE WITH NEW AWC. REMOVE SANITARY AND CW PIPING AS REQUIRED TO ACCOMMODATE NEW ARCH SCOPE. PROVIDE NEW SANITARY AND CW PIPING AS REQUIRED TO CONNECT TO EXISTING PIPING. PROVIDE FLUSH VALVE WITH BEDPAN WASHER. PROVIDE NEW SEAT, SUPPLY STOP, SUPPLY TUBING, AND ASSOCIATED ACCESSORIES. ENSURE INSTALLATION IS IN COMPLIANCE WITH ADAAG 2010 SECTION 604. PATCH/REPAIR SURFACES TO MATCH EXISTING AND ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.
- (P4) REMOVE EXISTING LAVATORY COMPLETELY AND REPLACE WITH NEW ALAV. REMOVE SANITARY PIPING, CW, AND HW PIPING AS REQUIRED TO ACCOMMODATE NEW ARCH SCOPE. PROVIDE NEW SANITARY, CW, AND HW PIPING AS REQUIRED TO CONNECT TO EXISTING. PROVIDE NEW FAUCET, P-TRAP, SUPPLY STOPS, SUPPLY TUBING, AND ASSOCIATED ACCESSORIES. PROVIDE NEW FLOOR MOUNTED WALL SUPPORTS AND ACCESSORIES AS REQUIRED. ENSURE INSTALLATION IS IN COMPLIANCE WITH ADAAG 2010 SECTION 606. PATCH/REPAIR SURFACES TO MATCH EXISTING AND ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.



1 M004 SECOND FLOOR PARTIAL PLUMBING PLAN  
SCALE: 1/8" = 1' - 0"



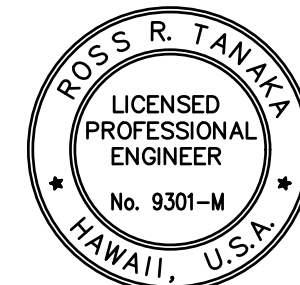
ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

ADA RENOVATIONS  
Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TWK: 1-6-009: 004

SHEET TITLE  
SECOND FLOOR PARTIAL PLUMBING PLAN

Bid Set



LICENSE EXPIRES: 4/30/26  
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

Signature

NO.	REVISION
△	
△	
△	
△	
△	
JOB NO.	-

SHEET	DATE	SEPT 18, 2025
M004	21	OF 32 SHTS

GRAPHIC SCALES 1 2 3 4 5 10 20 40 1/8"=1'-0" 1/4"=1'-0" 3/4"=1'-0"

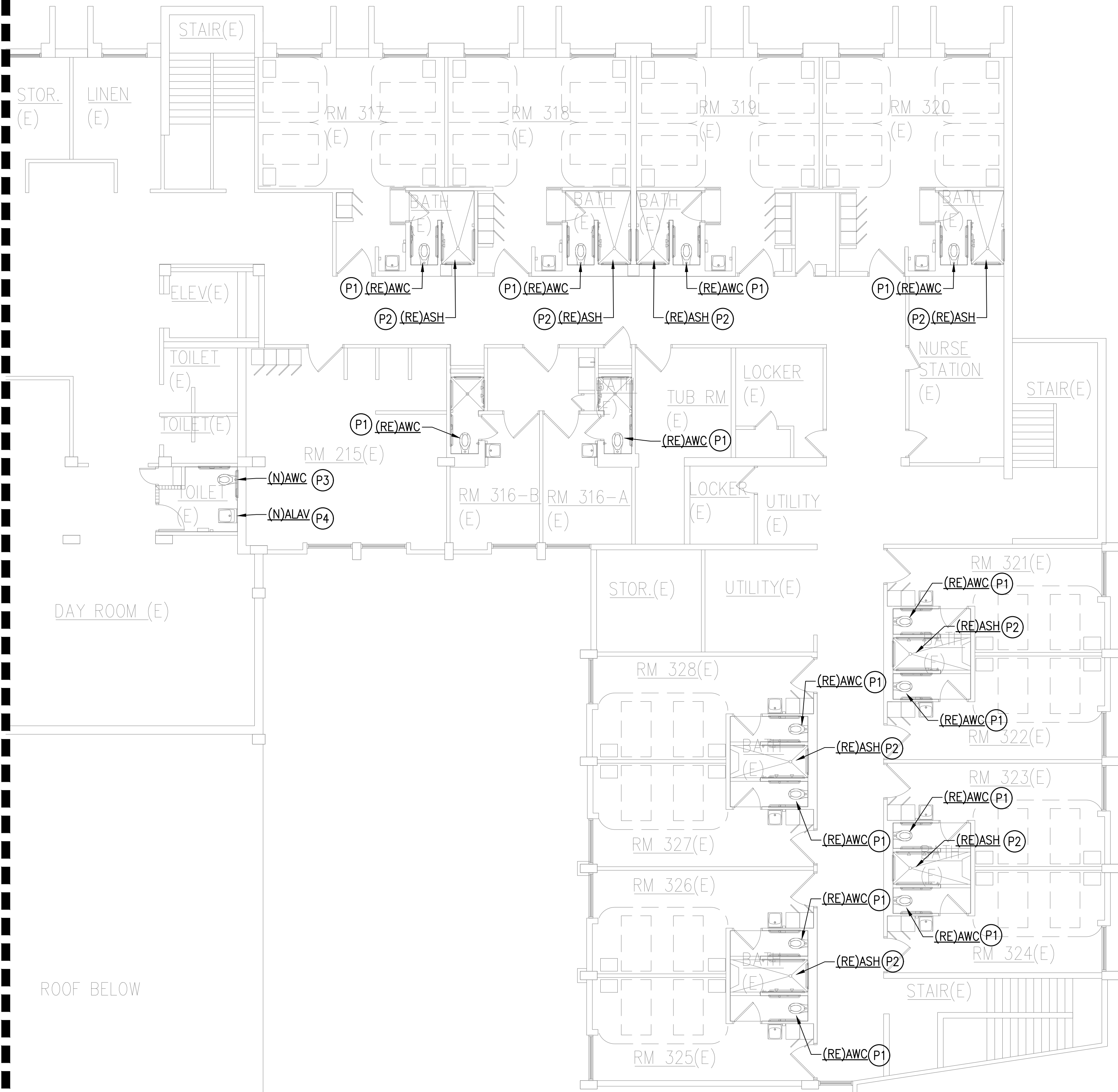






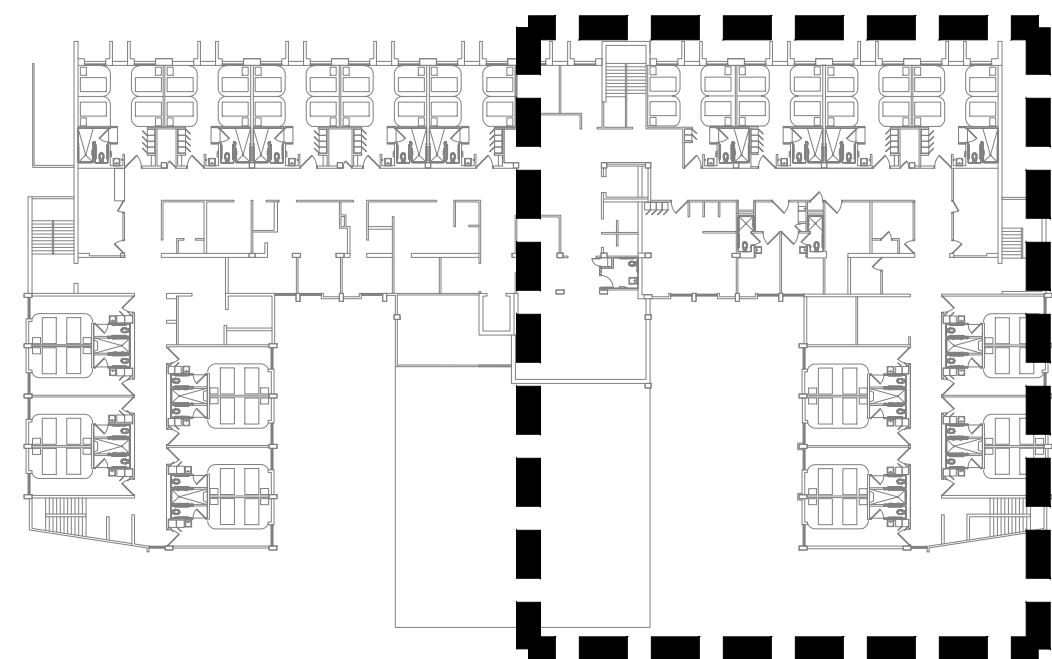
SEE 1/M003 FOR CONT.

SEE 1/M005 FOR CONT.

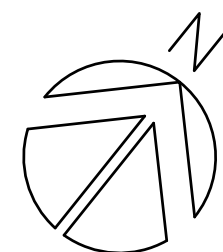


### PLUMBING WORK NOTES

- (P1) REMOVE AND REINSTALL EXISTING WATER CLOSET COMPLETE. REMOVE AND MODIFY SANITARY, CW, AND VENT PIPING AS REQUIRED TO ACCOMMODATE FOR ARCHITECT NEW SCOPE OF WORK. EXISTING SUPPLY STOPS, SUPPLY TUBING, WAX RING, AND ASSOCIATED ACCESSORIES ARE TO BE REMOVED AND REPLACED WITH NEW. REUSE AND REINSTALL EXISTING FLUSH VALVE. ENSURE ITEMS TO BE REUSED ARE NOT DAMAGED. NOTIFY ARCHITECT IMMEDIATELY FOR ITEMS THAT ARE NOT REUSABLE. PROVIDE NEW SANITARY, CW, AND VENT PIPING AS REQUIRED TO RECONNECT TO EXISTING. ENSURE REINSTALLATION IS IN COMPLIANCE WITH ADAAG 2010 SECTION 604. PATCH/REPAIR SURFACES TO MATCH EXISTING AND ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.
- (P2) REMOVE AND REINSTALL ACCESSIBLE SHOWER HEAD, HAND HELD SHOWER, SHOWER CONTROLS COMPLETE. CHECK EXISTING SHOWER CONTROL MODEL AND CONFIRM WITH MANUFACTURER FOR CONTROL EXTENSION KITS. PROVIDE NEW SHOWER CONTROL EXTENSION KITS AS REQUIRED TO ACCOMMODATE FOR ARCHITECT MODIFICATIONS TO WALL. PROVIDE NEW CW AND HW PIPING AND EXTEND AS REQUIRED TO REINSTALL ASH OVER NEW SOLID WALL PANELS. SEE ARCH FOR MORE INFORMATION ON FIXTURE LOCATIONS. ENSURE REINSTALLATION IS IN COMPLIANCE WITH ADAAG 2010 SECTION 608. PATCH/REPAIR SURFACES TO MATCH EXISTING AND ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.
- (P3) REMOVE EXISTING WATER CLOSET COMPLETELY AND REPLACE WITH NEW AWC. REMOVE SANITARY AND CW PIPING AS REQUIRED TO ACCOMMODATE NEW ARCH SCOPE. PROVIDE NEW SANITARY AND CW PIPING AS REQUIRED TO CONNECT TO EXISTING PIPING. PROVIDE FLUSH VALVE WITH BEDPAN WASHER. PROVIDE NEW SEAT, SUPPLY STOP, SUPPLY TUBING, AND ASSOCIATED ACCESSORIES. ENSURE INSTALLATION IS IN COMPLIANCE WITH ADAAG 2010 SECTION 604. PATCH/REPAIR SURFACES TO MATCH EXISTING AND ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.
- (P4) REMOVE EXISTING LAVATORY COMPLETELY AND REPLACE WITH NEW ALAV. REMOVE SANITARY PIPING, CW, AND HW PIPING AS REQUIRED TO ACCOMMODATE NEW ARCH SCOPE. PROVIDE NEW SANITARY, CW, AND HW PIPING AS REQUIRED TO CONNECT TO EXISTING. PROVIDE NEW FAUCET, P-TRAP, SUPPLY STOPS, SUPPLY TUBING, AND ASSOCIATED ACCESSORIES. PROVIDE NEW FLOOR MOUNTED WALL SUPPORTS AND ACCESSORIES AS REQUIRED. ENSURE INSTALLATION IS IN COMPLIANCE WITH ADAAG 2010 SECTION 606. PATCH/REPAIR SURFACES TO MATCH EXISTING AND ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.

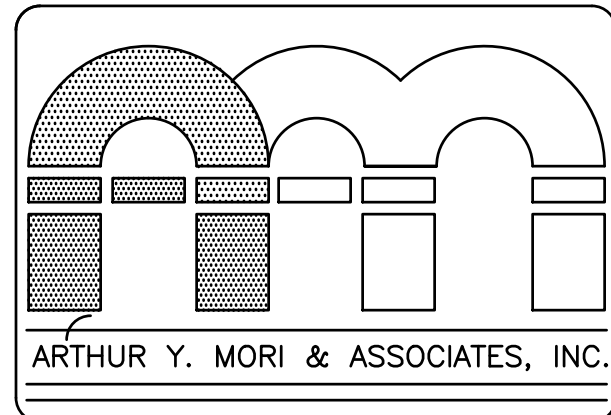


2 KEY PLAN  
M006 SCALE: NOT TO SCALE



0' 4' 8' 12' 16' 20' 24'  
SCALE: 1/8" = 1'

1 THIRD FLOOR PARTIAL PLUMBING PLAN  
M006 SCALE: 1/8" = 1' - 0"



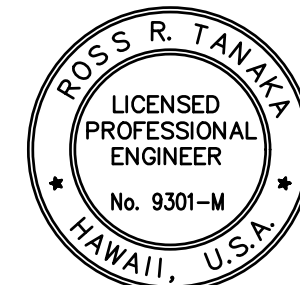
ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

ADA RENOVATIONS  
Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TWK: 1-6-009: 004

SHEET TITLE  
THIRD FLOOR PARTIAL PLUMBING PLAN

Bid Set



LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

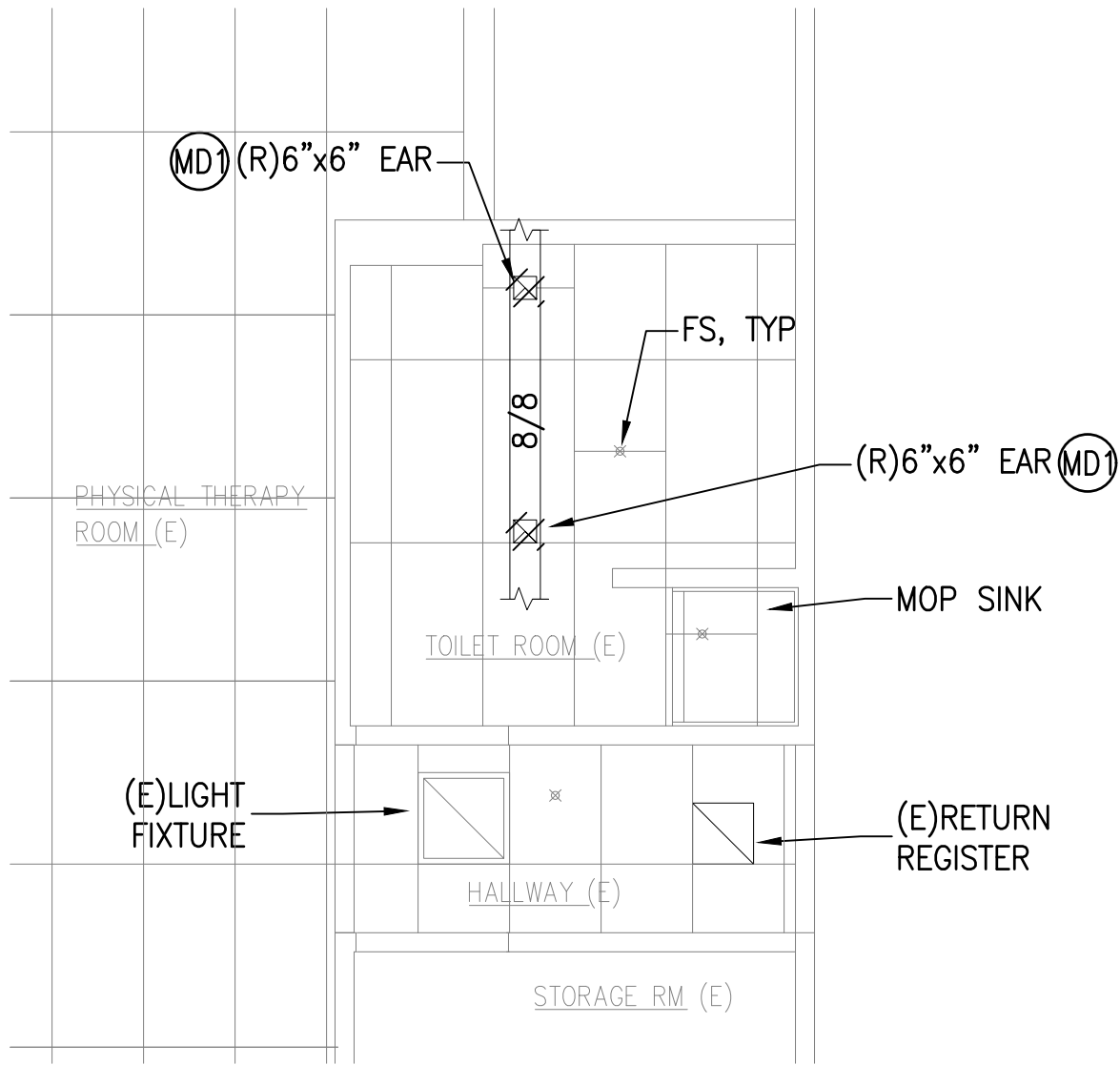
Signature

NO.	REVISION
△	
△	
△	
△	
△	
JOB NO.	-

SHEET M006 DATE SEPT 18, 2025  
23 OF 32 SHTS

GRAPHIC SCALES 1 2 3 4 5 10 20 40 1/8"=1'-0" 1/4"=1'-0" 1/2"=1'-0" 3/4"=1'-0"

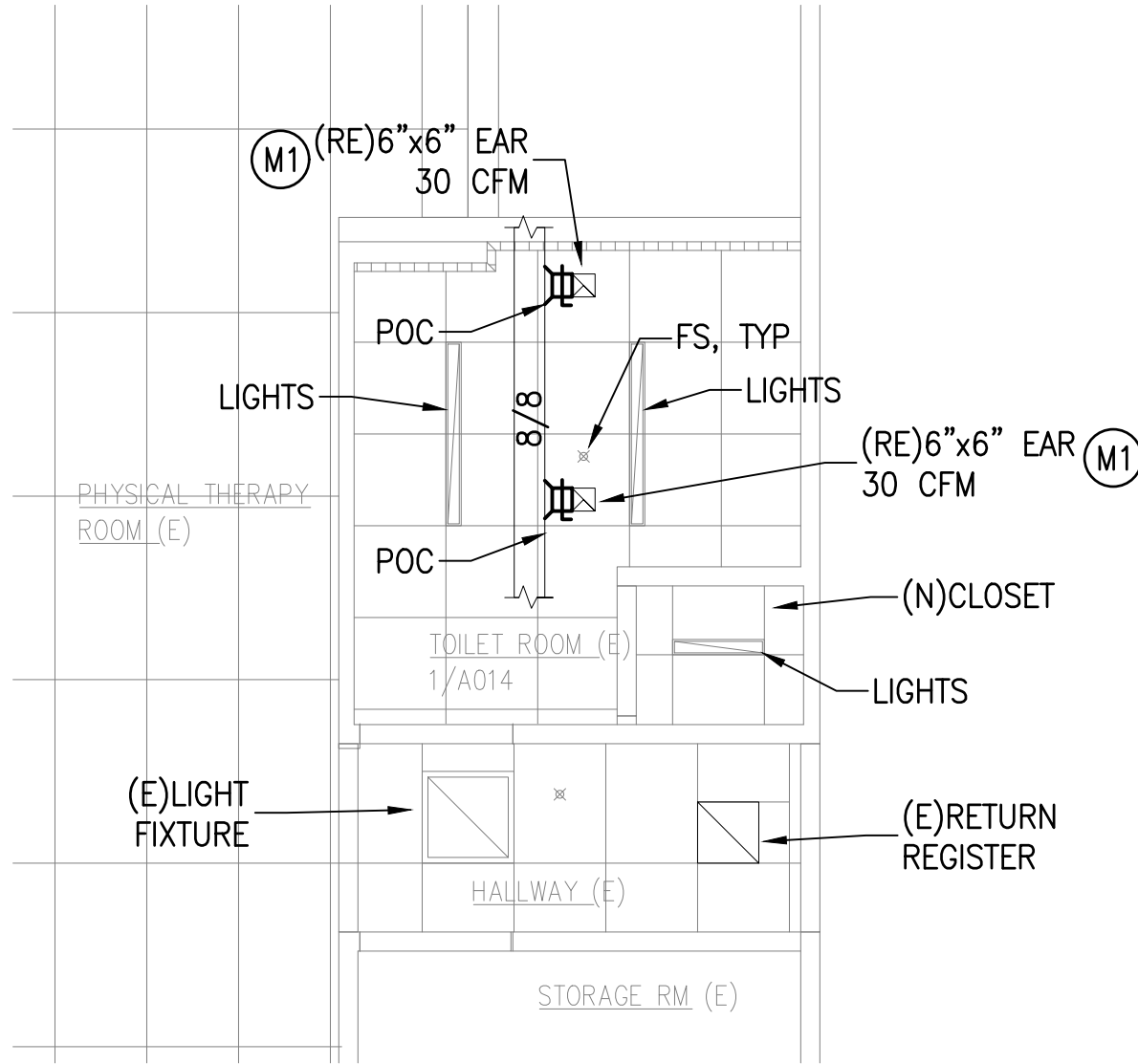




1 FIRST FLOOR PARTIAL MECHANICAL DEMOLITION PLAN  
M007 SCALE: 1/4" = 1' - 0"

### MECHANICAL DEMOLITION NOTES

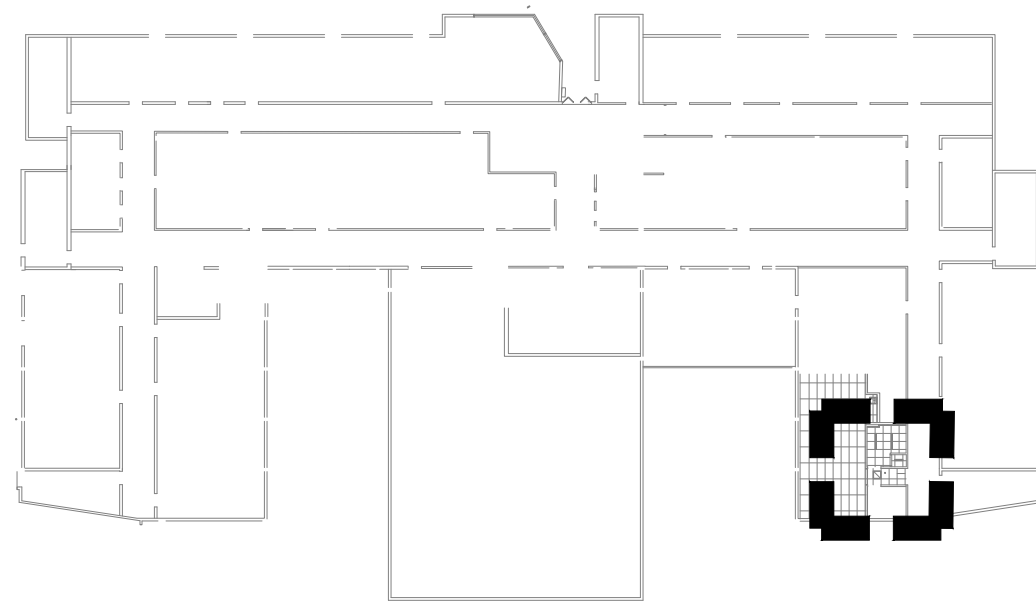
- (MD1) REMOVE AND RELOCATE EXISTING EAR COMPLETE. REMOVE DUCTWORK AS REQUIRED TO ACCOMMODATE FOR ARCHITECT NEW SCOPE OF WORK. PATCH/REPAIR SURFACES TO MATCH ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.



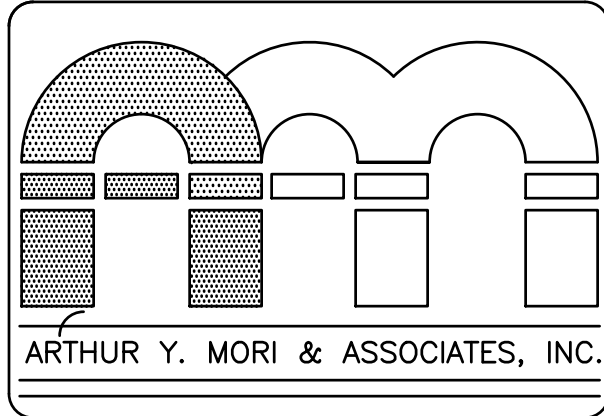
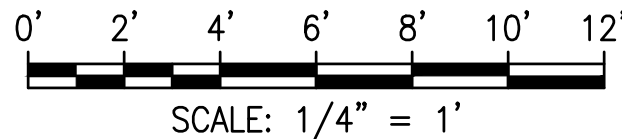
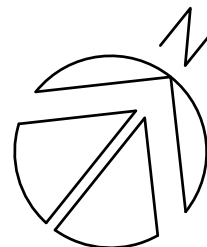
2 FIRST FLOOR PARTIAL NEW MECHANICAL PLAN  
M007 SCALE: 1/4" = 1' - 0"

### NEW MECHANICAL NOTES

- (M1) REMOVE AND REINSTALL EXISTING EAR COMPLETE. PROVIDE NEW DUCTWORK AS REQUIRED TO ACCOMMODATE FOR ARCHITECT NEW SCOPE OF WORK. PROVIDE NEW VOLUME DAMPER AND ASSOCIATED ACCESSORIES. PATCH/REPAIR SURFACES TO MATCH ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.



3 KEY PLAN  
M007 SCALE: NOT TO SCALE



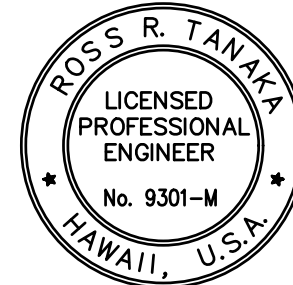
ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

ADA RENOVATIONS  
Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TMK: 1-6-009: 004

Bid Set

SHEET TITLE  
FIRST FLOOR PARTIAL MECHANICAL PLANS

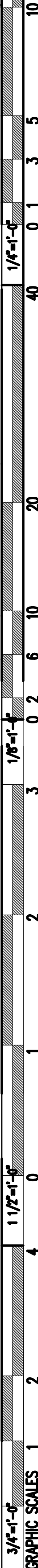


LICENSE EXPIRES: 4/30/26  
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 15-113 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

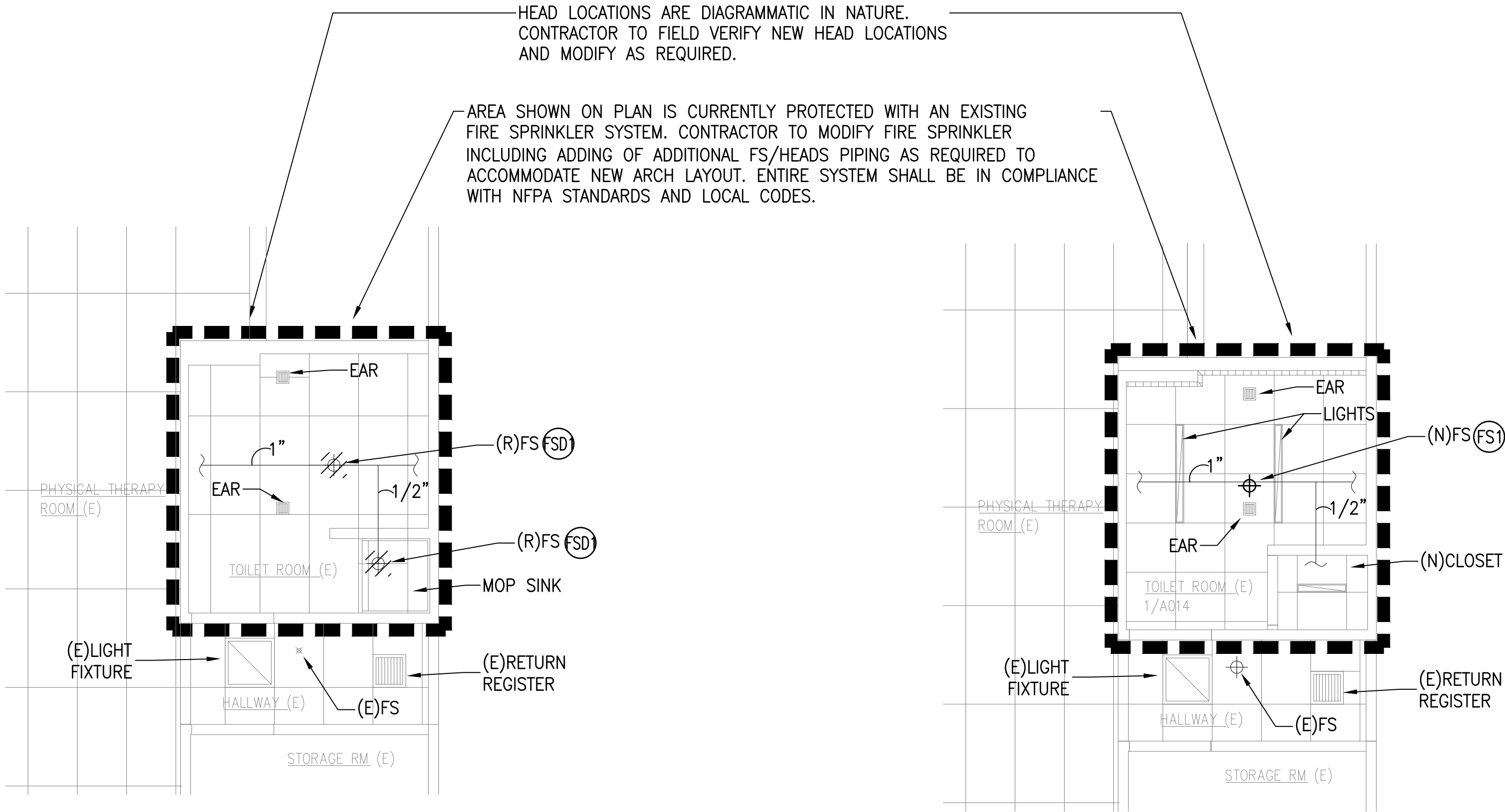
Signature

NO.	REVISION
△	
△	
△	
△	
JOB NO.	-

SHEET  
M007  
DATE  
SEPT 18, 2025  
24 OF 32 SHTS







1 FIRST FLOOR PARTIAL FIRE SPRINKLER DEMOLITION PLAN  
M008 SCALE: 1/4" = 1' - 0"

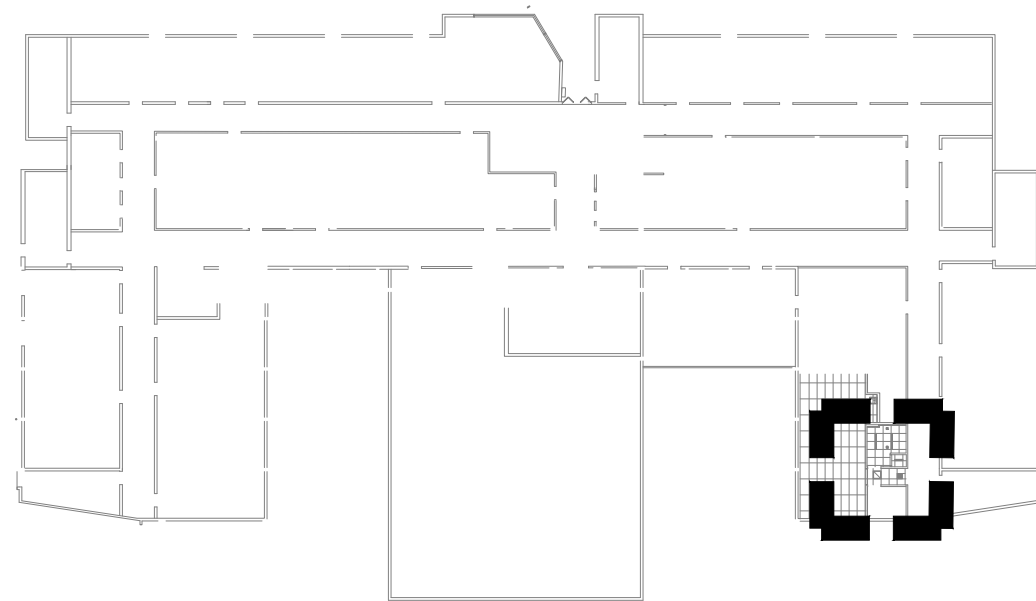
2 FIRST FLOOR PARTIAL NEW FIRE SPRINKLER PLAN  
M008 SCALE: 1/4" = 1' - 0"

### FIRE SPRINKLER DEMOLITION NOTES

- (FSD) REMOVE EXISTING FIRE SPRINKLER COMPLETE. MODIFY EXISTING FS PIPING AS REQUIRED TO ACCOMMODATE FOR ARCHITECT NEW SCOPE OF WORK. PATCH/REPAIR SURFACES TO MATCH ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.

### NEW FIRE SPRINKLER NOTES

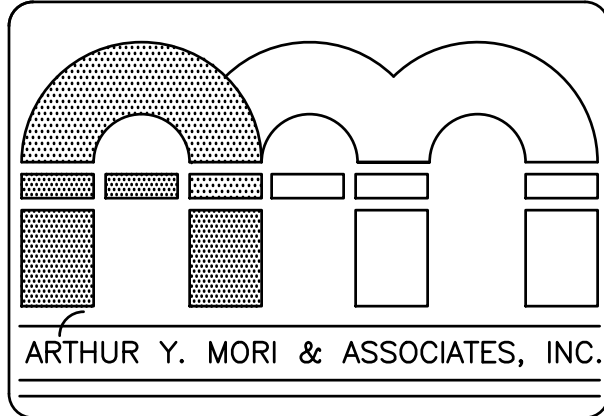
- (FS) PROVIDE NEW FIRE SPRINKLER COMPLETE. PROVIDE NEW FS PIPING AS REQUIRED TO ACCOMMODATE FOR ARCHITECT NEW SCOPE OF WORK. PATCH/REPAIR SURFACES TO MATCH ADJACENT AS REQUIRED. CONTRACTOR TO FIELD VERIFY.



3 KEY PLAN  
M008 SCALE: NOT TO SCALE



0' 2' 4' 6' 8' 10' 12'  
SCALE: 1/4" = 1'



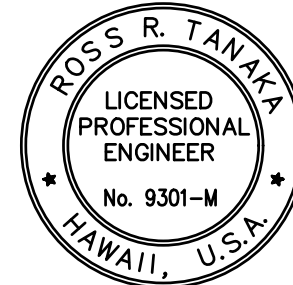
ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

ADA RENOVATIONS  
Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TWK: 1-6-009: 004

Bid Set

SHEET TITLE  
FIRST FLOOR PARTIAL FIRE SPRINKLER PLANS



LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 15-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

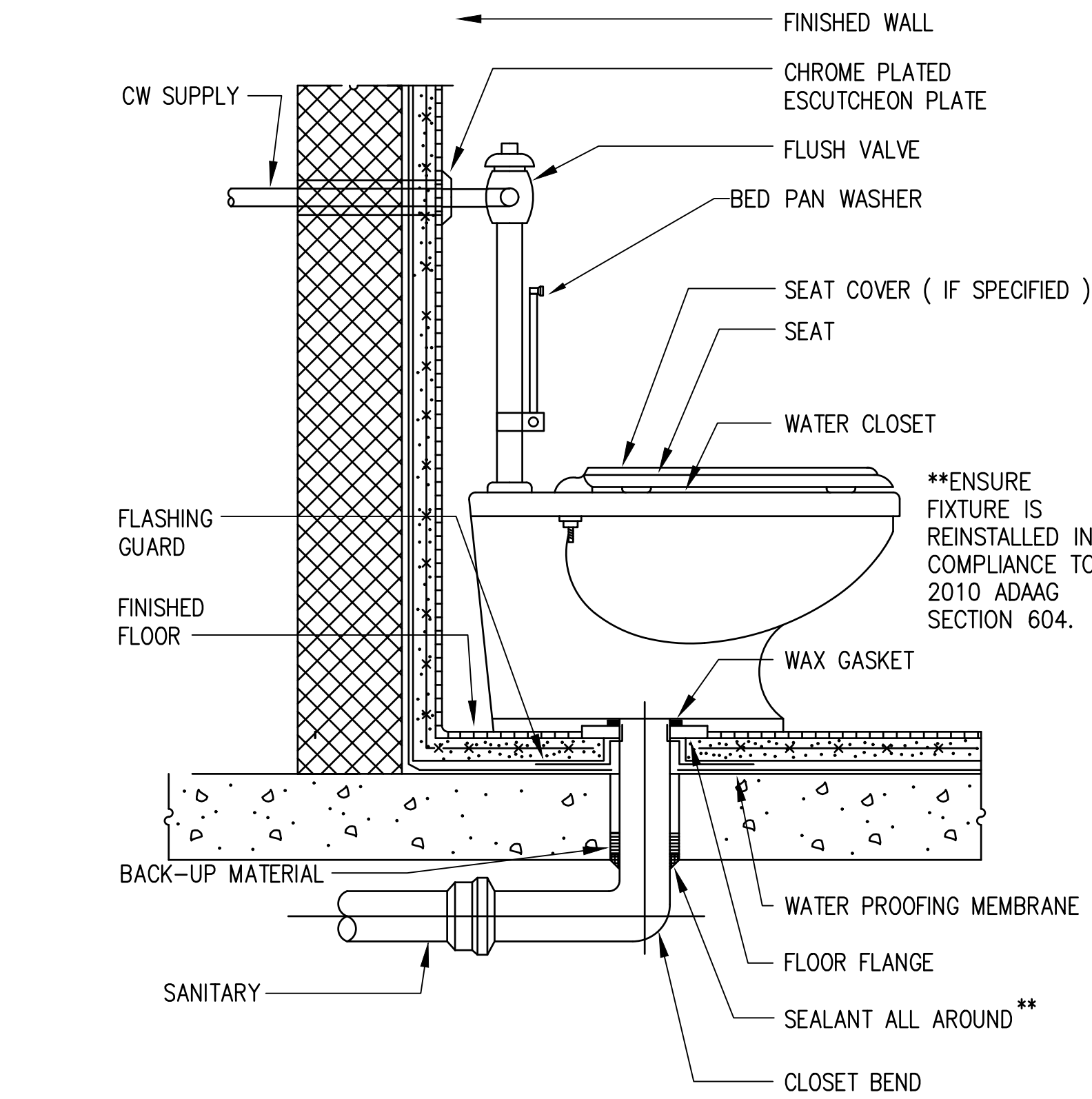
Signature

NO.	REVISION
△	
△	
△	
△	
JOB NO.	-

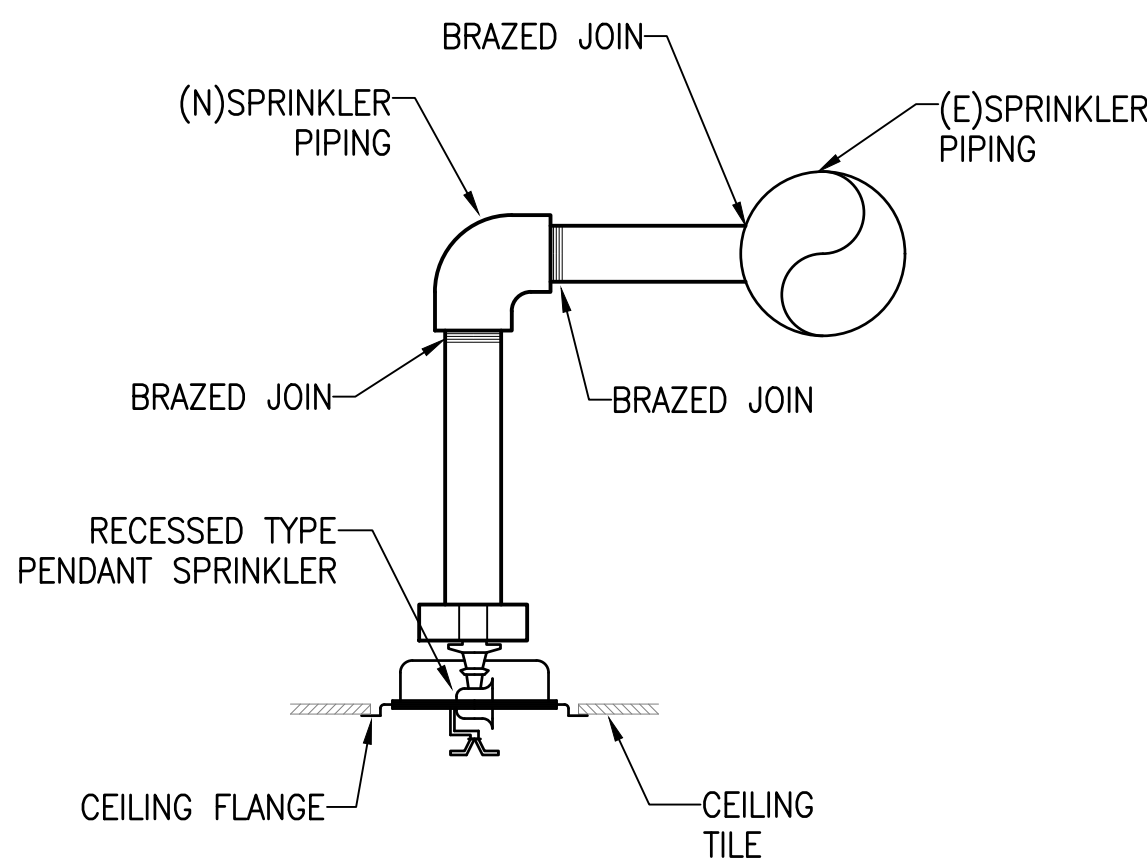
SHEET  
M008  
DATE  
SEPT 18, 2025  
25 OF 32 SHTS

GRAPHIC SCALES 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

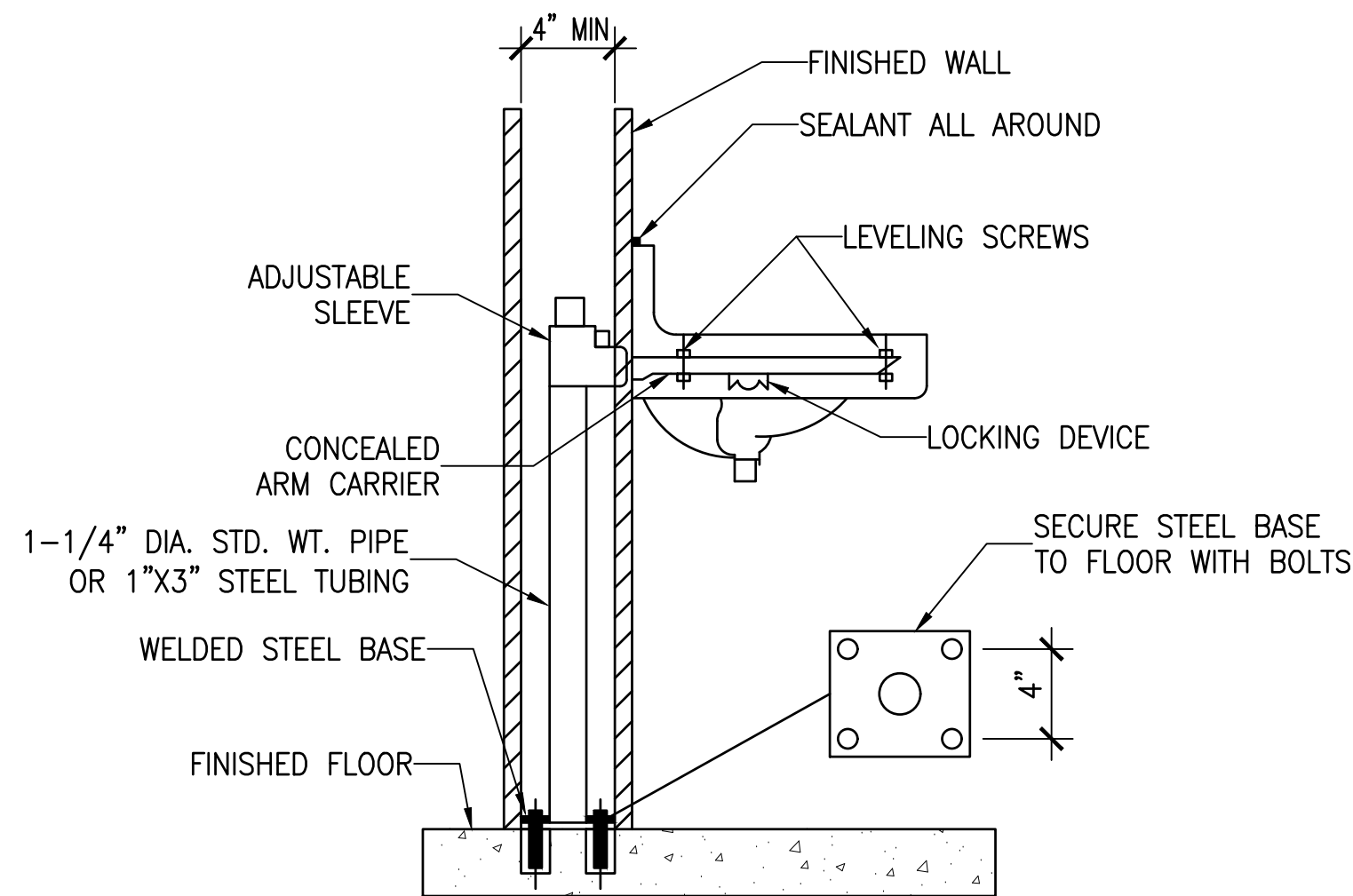




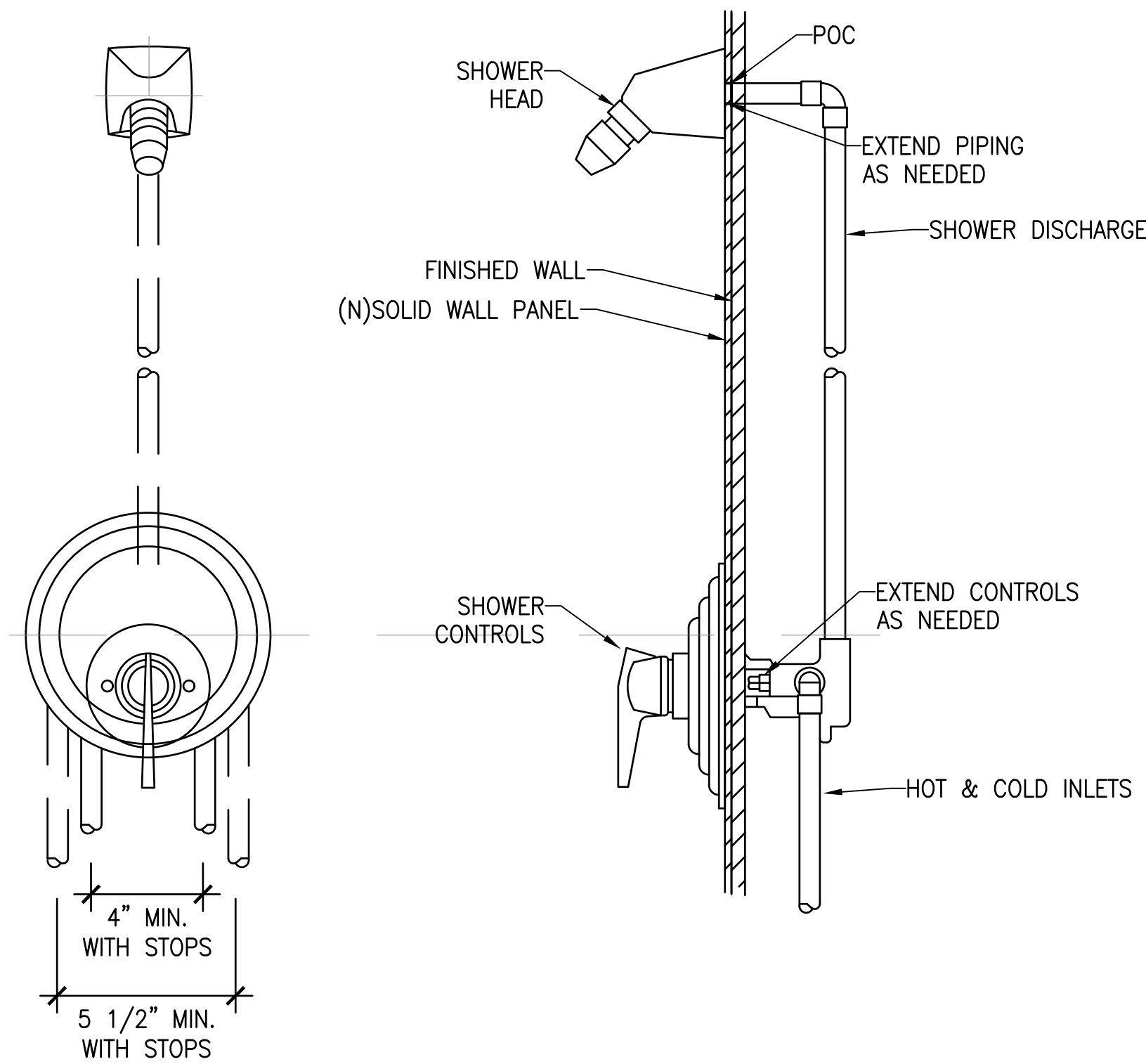
**A**  
M009 **ACCESSIBLE WATER CLOSET DETAIL, TYP**  
SCALE: NOT TO SCALE



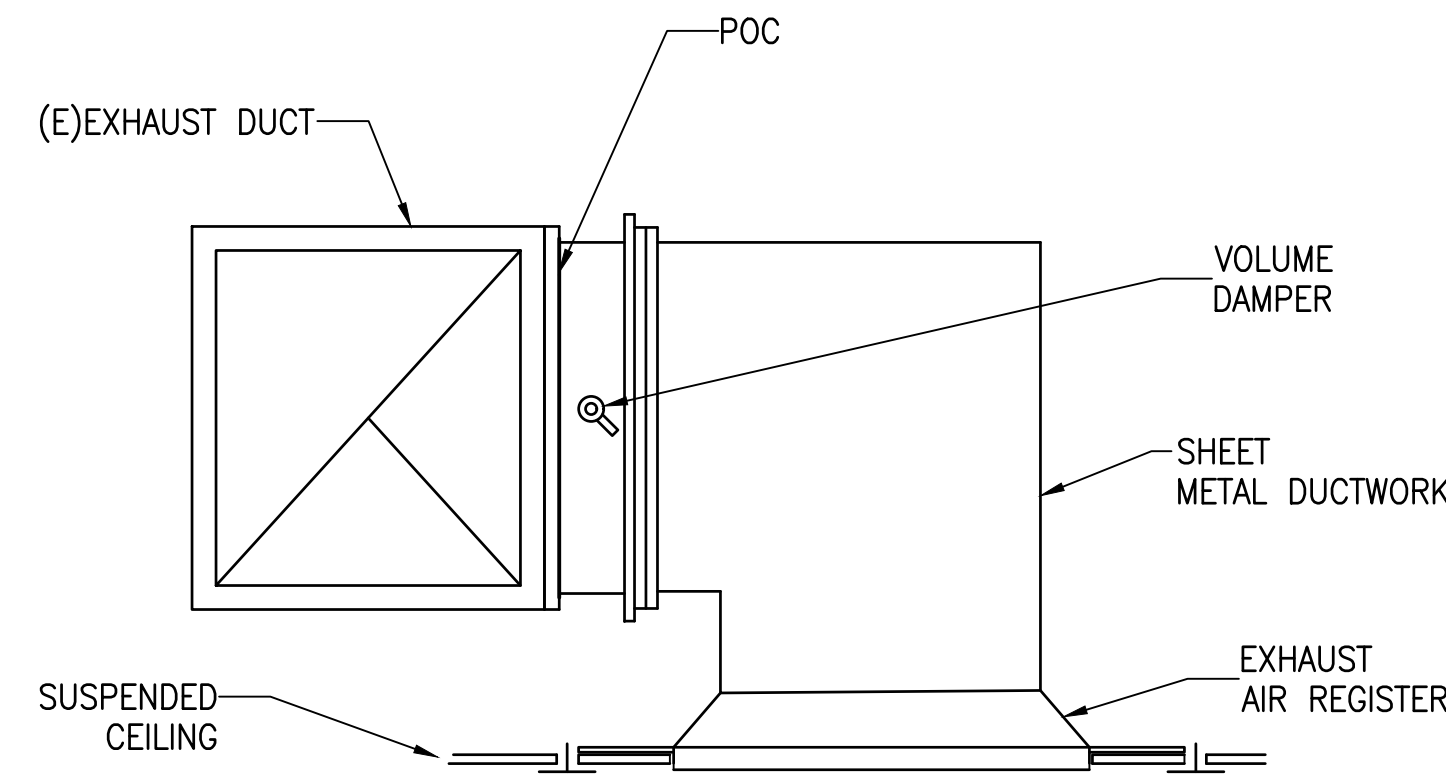
**B**  
M009 **FIRE SPRINKLER DETAIL, TYP**  
SCALE: NOT TO SCALE



**C**  
M009 **ACCESSIBLE LAVATORY MOUNTING DETAIL, TYP**  
SCALE: NOT TO SCALE



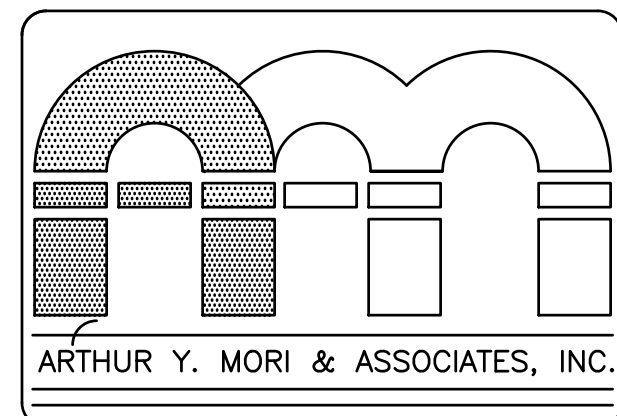
**D**  
M009 **ACCESSIBLE SHOWER DETAIL, TYP**  
SCALE: NOT TO SCALE



**E**  
M009 **EXHAUST AIR REGISTER DETAIL, TYP**  
SCALE: NOT TO SCALE

## PLUMBING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	TRAP SIZE	SANITARY	VENT	HOT WATER	COLD WATER	REMARKS
ASH	ACCESSIBLE SHOWER	2"	2"	1-1/2"	1/2"	1/2"	REMOVE AND REINSTALL. PROVIDE NEW WATER SUPPLY PIPING AS REQUIRED TO ACCOMMODATE FOR NEW SOLID WALL PANEL. PROVIDE EXTENSION KIT FOR SHOWER CONTROLS AS REQUIRED. ENSURE REINSTALLATION IS IN COMPLIANCE TO 2010 ADAAG SECTION 608.
ALAV	ACCESSIBLE LAVATORY	2"	2"	2"	1/2"	1/2"	LOW FLOW LAVATORY. PROVIDE NEW WATER SUPPLY PIPING, SANITARY, AND VENT PIPING AS REQUIRED. ENSURE INSTALLATION IS IN COMPLIANCE TO 2010 ADAAG SECTION 606.
AWC	ACCESSIBLE WATER CLOSET	INTEGRATED	3"	2"	-	1"	FLUSH VALVE AWC SHALL BE PROVIDED WITH NEW OR REINSTALLED AS INDICATED ON DRAWINGS. PROVIDE NEW WATER SUPPLY PIPING, SANITARY, AND VENT PIPING AS REQUIRED. ENSURE REINSTALLATION/INSTALLATION IS IN COMPLIANCE TO 2010 ADAAG SECTION 604.



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**  
Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

TWK: 1-6-009: 004

Bid Set

SHEET TITLE  
PLUMBING DETAILS



LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 15-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

*Ross R. Tanaka*  
SIGNATURE

NO.	REVISION
△	
△	
△	
△	
JOB NO.	-

SHEET  
M009  
DATE SEPT 18, 2025  
26 OF 32 SHTS

GRAPHIC SCALES 1 2 3 4 5 10 20 40 1/8"=1'-0" 1/4"=1'-0" 3/8"=1'-0" 1/2"=1'-0" 3/4"=1'-0" 1"=1'-0"



MECHANICAL SPECIFICATIONS

SECTION 15A – GENERAL

1. INSTALLATION AND WORKMANSHIP: ALL WORKMANSHIP SHALL BE OF THE HIGHEST STANDARD. ALL PIPING SHALL BE LAID OUT TO INSURE A NEAT, SYSTEMATIC AND ORDERLY ARRANGEMENT OF ALL WORK. ALL PLUMBING INSTALLED SHALL COMPLY WITH THE UNIFORM PLUMBING CODE, FIRE DEPARTMENT REGULATIONS, THE REGULATIONS OF THE DEPARTMENT OF HEALTH, OF THE STATE OF HAWAII, OSHA, NFPA AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER WORK IN THIS SECTION. WHERE NOTED, FIXTURES SHALL COMPLY WITH ALL APPLICABLE ADA STANDARDS.
2. GENERAL REQUIREMENTS: IT IS THE INTENT OF THE PLANS AND SPECIFICATIONS TO PROVIDE A COMPLETE INSTALLATION. SHOULD THERE BE OMISSIONS OR DISCREPANCIES IN THE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL CALL THE ATTENTION OF THE ENGINEER TO SUCH OMISSIONS AND DISCREPANCIES IN ADVANCE OF CONSTRUCTION SO THAT THE NECESSARY CORRECTIONS CAN BE MADE, OTHERWISE THE CONTRACTOR SHALL FURNISH AND INSTALL THE OMISSIONS OR DISCREPANCIES AS IF THE SAME WERE SPECIFIED AND PROVIDED FOR.
- A. STANDARDS:

1) ALL WORK SHALL BE DONE IN ACCORDANCE WITH UPC 2021, IBC 2018, IECC 2018, NFPA 1 2021, HONOLULU FIRE DEPARTMENT REGULATIONS, LANDLORD REQUIREMENT, AND ALL APPLICABLE ORDINANCES AND CODES OF THE CITY AND COUNTY OF HONOLULU.

2) CONTRACTOR SHALL OBTAIN ALL PERMITS, LICENSES, AND CERTIFICATES AND PAY FOR ALL FEES.
- B. DRAWINGS AND SPECIFICATIONS:

1) CONTRACT DRAWINGS: MECHANICAL PLANS ARE ESSENTIALLY DIAGRAMMATIC, SHOWING LOCATIONS OF PIPES AND OTHER MECHANICAL EQUIPMENT. WHERE LOCATIONS ARE NOT DIMENSIONED, THEY ARE APPROXIMATE, AND BEFORE INSTALLING, THE CONTRACTOR SHALL STUDY THE EXISTING CONDITIONS AND MAKE THE INSTALLATION IN THE MOST LOGICAL MANNER.

2) SHOP DRAWINGS: AS SOON AS PRACTICAL AND WITHIN THIRTY (30) DAYS AFTER AWARD OF CONTRACT AND BEFORE COMMENCEMENT OF INSTALLATION OF ANY MATERIALS, SIX (6) SETS OF MATERIAL SUBMITTALS AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. SUBMITTALS SHALL CONSIST OF A COMPLETE LIST OF MATERIALS. SHOP DRAWINGS SHALL CONTAIN ALL PIPING, DUCTWORK, EQUIPMENT, HANGERS, VALVES, AND SPECIALTIES. ALLOW FOR SERVICE CLEARANCES AS RECOMMENDED BY EQUIPMENT MANUFACTURER.

3) RECORD DRAWINGS: CONTRACTOR SHALL KEEP A SET OF DRAWINGS AVAILABLE AT THE JOBSITE ON WHICH ALL CHANGES AND ADDITIONS IN THE MECHANICAL WORK ARE SHOWN.
- C. WORK AREA SHALL BE CLEANED OF DEBRIS AT THE END OF EACH DAY.
3. GUARANTEE

A. GUARANTEE: ALL WORK AND MATERIAL EXECUTED UNDER THIS SECTION SHALL BE GUARANTEED TO BE FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE OF PROJECT AS A WHOLE. ALL WORK OR REPAIR AND REPLACEMENT REQUIRED, INCLUDING OTHER WORK DAMAGED BY THIS WORK'S DEFECT SHALL BE PERFORMED AT NO COST TO THE OWNER.

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO ANY PART OF THE PREMISES CAUSED BY FAILURE IN THE EQUIPMENT UNDER THIS SECTION FOR A PERIOD OF ONE (1) YEAR AFTER THE FINAL ACCEPTANCE OF THE WORK AS A WHOLE.

SECTION 15B: AIR CONDITIONING

1. SCOPE: PROVIDE COMPLETE INSTALLATION OF ADDITIONAL AIR DEVICES. "PROVIDE" SHALL MEAN "FURNISH AND INSTALL" WHEN USED HEREIN. THE AIR CONDITIONING SYSTEMS SHALL INCLUDE ALL EQUIPMENT AND ALL RELATED ITEMS NECESSARY TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS AND HEREIN SPECIFIED. THE WORK SHALL INCLUDE THE FOLLOWING:

A. DUCTWORK AND ACCESSORIES

B. ADJUSTING, TESTING, AND BALANCING
2. PRODUCTS: ALL MATERIALS DELIVERED TO THE JOB SITE AND INSTALLED SHALL BE NEW, BEST OF THEIR RESPECTIVE GRADES AND AS SPECIFIED ON THE DRAWINGS. MATERIALS SHALL BE OF THE SAME BRAND OR MANUFACTURER THROUGHOUT FOR EACH CLASS OF MATERIAL OR EQUIPMENT.

A. SHEET METAL DUCTWORK: GALVANIZED STEEL.

B. EXHAUST AIR REGISTER: EXISTING EAR TO BE REMOVED AND REINSTALL AT NEW LOCATION.

C. FITTINGS: TAKE-OFFS, BRANCH CONNECTIONS, TRANSITIONS, VOLUME DAMPERS, AND FLEXIBLE CONNECTIONS SHALL COMPLY WITH SMACNA STANDARDS.

D. SUPPORTS: GALVANIZED STEEL STRAPS OR HANGER RODS IN ACCORDANCE WITH SMACNA DUCT CONSTRUCTION STANDARDS.
3. EXECUTION: THE INSTALLATION SHALL BE ACCOMPLISHED BY A QUALIFIED, LICENSED CONTRACTOR RECOGNIZED AS A FULLY EXPERIENCED SPECIALIST IN HVAC SYSTEMS.

A. CONTRACTOR SHALL PERFORM A PRETEST AND VERIFY ALL EXISTING EQUIPMENT, ACCESSORIES, ETC. AS REQUIRED PRIOR TO START OF WORK.

B. EQUIPMENT INSTALLATION:

1) INSTALL EQUIPMENT TO ACCOMMODATE FOR ARCHITECT NEW SCOPE OF WORK.

C. NECESSARY SUPPORTS AND VIBRATION ISOLATORS SHALL BE PROVIDED FOR ALL EQUIPMENT AND APPURTENANCES AS REQUIRED. EQUIPMENT SHALL BE INSTALLED

D. IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. AFTER COMPLETING INSTALLATION OF DUCTWORK AND EQUIPMENT, ENTIRE SYSTEM SHALL BE CLEANED OF RUBBISH, PLASTER AND OTHER DIRT

E. CONTRACTOR TO TEST AND BALANCE AIR CONDITIONING SYSTEM PRIOR TO FINAL INSPECTION AND PROVIDE BALANCING REPORTS. CONTRACTOR SHALL ALSO PROVIDE REBALANCING DURING ONE YEAR PERIOD TO SATISFY USER REQUIREMENTS.

F. ADJUSTING, BALANCING, AND TESTING:

1). ADJUSTING: CLEAN AND ADJUST ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. SUBMIT DETAILED REPORT OF SERVICING, NOTE ALL CORRECTIVE ACTIONS TAKEN.

2). BALANCING: SUPPLY AND RETURN AIR DISTRIBUTION SHALL BE BALANCED TO PROVIDE AIR QUANTITIES AS INDICATED TO PLUS OR MINUS 10 PERCENT, AND NOT EXCEEDING 10 PERCENT OF DESIGN QUANTITY FOR OUTSIDE AIR.

3). TEST REPORT: TYPE WRITTEN SCHEDULES OF READINGS TAKEN DURING THE BALANCING OPERATIONS INDICATING THE REQUIRED OR SPECIFIED READING, AND THE FINAL BALANCED READING SHALL BE PROVIDE FOR THE AIR DEVICES.

4). THIS REPORT SHALL BE PREPARED BY AN AABC AND/OR NEBB CERTIFIED COMPANY.

SECTION 15B: AIR CONDITIONING CONT.

5. GUARANTEE AND CERTIFICATIONS: ALL WORK AND MATERIALS EXECUTED UNDER THIS SECTION SHALL BE GUARANTEED TO BE FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE OF THE PROJECT AS A WHOLE.
6. ALL WORK OR REPAIRS AND REPLACEMENT REQUIRED, INCLUDING OTHER WORK DAMAGED BY THIS WORK'S DEFECT SHALL BE PERFORMED WITHOUT COST TO THE OWNER.

SECTION 15C: PLUMBING

1. SCOPE: FURNISH AND INSTALL ALL MATERIALS, LABOR, SERVICES AND EQUIPMENT TO PROVIDE WATER, AND SANITARY CONNECTIONS TO ALL NEW FIXTURES AS WELL AS ANY ASSOCIATED PIPING ALTERATIONS, AS INDICATED ON THE PLANS AND/OR SPECIFIED HEREIN.
2. MATERIALS: ALL MATERIALS SHALL BE NEW AND OF THE BEST QUALITY AVAILABLE IN THEIR RESPECTIVE KINDS, FREE FROM ALL DEFECTS AND SHALL BE OF THE MAKE AND TYPE SPECIFIED OR APPROVED EQUAL.

A. PIPING MATERIAL:

1) ABOVE GRADE AND BELOW FLOOR SANITARY WASTE AND VENT PIPING: SERVICE WEIGHT CAST-IRON "NO-HUB" CAST IRON WITH STAINLESS STEEL BANDS. AT CONTRACTORS OPTION, DWV COPPER WITH 95-5 SOLDER JOINTS MAY BE USED, HOWEVER, ONLY ONE TYPE SHALL BE USED THROUGHOUT.

2) ABOVE GROUND WATER PIPING: COPPER, TYPE "L", HARD DRAWN WITH WROUGHT COPPER OR CAST BRONZE FITTINGS; 95-5 LEAD FREE SOLDER JOINTS.

3) VALVES SHALL BE OF HEAVY DUTY BRONZE CONSTRUCTION, LEAD-FREE, THREADED OR SOLDERED ENDS. BALL VALVES SHALL BE 3-PIECE BRONZE FULL PORT TYPE WITH BLOWOUT-PROOF STEM. NIBCO, CRANE, POWELL OR EQUAL.

4) PIPE INSULATION: DOMESTIC HOT WATER PIPING INSULATION SHALL COMPLY WITH HONOLULU CITY AND COUNTY IECC AMENDMENT SECTION C404.5.3. INSULATE THE ENTIRE HOT WATER PIPING SYSTEM IN ACCORDANCE WITH TABLE C403.11.3. PROVIDE CONTINUOUS INSULATION ON STRAIGHTS, ELBOWS, TEES, VALVES, UNIONS, AND AT SUPPORTS; SEAL ALL LONGITUDINAL/ CIRCUMFERENTIAL JOINTS. INSULATION SHALL HAVE MINIMUM FLAME/SMOKE DEVELOPED RATING OF 25/50. PROVIDE VAPOR BARRIER/UV JACKET WHERE EXPOSED OR IN DAMP/OUTDOOR LOCATIONS. EXCEPTIONS: UNDER-SLAB OR BURIED PIPING AS ALLOWED BY R403.5.1 EXCEPTIONS. INSULATION SHALL BE THICK CLOSED CELL ELASTOMERIC INSULATION, PRE-MOLDED WITH LONGITUTINAL SLIT WITH ADHESIVE-SEALING STRIP.
- B. FIXTURES:

1) ACCESSIBLE SHOWER (ASH): ASH TO BE REMOVED AND REINSTALLED. SEE DRAWINGS FOR MORE DETAILS AND INSTRUCTIONS. PROVIDE NEW PIPING AND SHOWER CONTROL VALVE EXTENSION AS REQUIRED. SEE ARCH FOR INFORMATION.

2) ACCESSIBLE LAVATORY (ALAV): LAVATORY SHALL BE AMERICAN STANDARD LUCERNE WALL-HUNG VITREOUS CHINA LAVATORY WITH FRONT OVERFLOW, D-SHAPED BOWL, FAUCET LEDGE, AND SELF-DRAINING DECK AREA WITH BACK AND SIDE SPLASH SHIELDS. 4" CENTERS FOR FAUCET. NOMINAL DIMENSIONS 20-1/2" X 18-1/4" WITH BOWL 15" WIDE X 10" FRONT-TO-BACK X 6-1/2" DEEP. PROVIDE WITH FLOOR MOUNTED CONCEALED SUPPORT AS REQUIRED. INSTALL TOP OF RIM 34" ABOVE FINISHED FLOOR FOR ADA COMPLIANCE. AMERICAN STANDARD MODEL 0355.012 OR APPROVED EQUAL. FAUCET SHALL BE KOHLER CORALAIK-15198-4RA 4" CENTERSET FAUCET WITH METAL CONSTRUCTION, CERAMIC DISC VALVE, TEMPERATURE MEMORY, AND RED/BLUE INDEXING. STATIONARY SPOUT WITH 4-3/16" REACH, GRID DRAIN WITH TAILPIECE, FLEXIBLE CONNECTIONS, AND VANDAL-RESISTANT AERATOR. MAXIMUM FLOW RATE 0.5 GPM AT 60 PSI. POLISHED CHROME FINISH. KOHLER MODEL K-15198-4RA OR APPROVED EQUAL. PROVIDE P-TRAP AND SUPPLY STOP WITH COVERS AS REQUIRED. INSTALL LAVATORY AND FAUCET IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND ALL APPLICABLE CODES. ENSURE MOUNTING HEIGHT AND CLEARANCES ARE MAINTAINED FOR ADA COMPLIANCE.

3) ACCESSIBLE WATER CLOSET (AWC): AWC SHALL BE PROVIDED WITH NEW OR REINSTALLED AS INDICATED ON DRAWINGS. NEW WATER CLOSET SHALL BE AMERICAN STANDARD ELONGATED FLUSHOMETER TOILET, VITREOUS CHINA. FLOOR MOUNT, ELONGATED BOWL, 1-1/2" TOP SPUD, OPERATING RANGE 1.1 TO 1.6 GPF. FULLY GLAZED 2-1/8" TRAPWAY WITH DIRECT-FED SIPHON JET ACTION. RIM HEIGHT 16-1/2" FOR ACCESSIBLE APPLICATIONS. ENSURE SEAT HEIGHT IS 17" ABOVE FINISHED FLOOR WHEN WC IS FULLY INSTALLED PER ADA REQUIREMENTS. COORDINATE AND CONFIRM WITH ARCHITECT SEAT HEIGHT ABOVE FINISHED FLOOR PRIOR TO ORDERING. AMERICAN STANDARD MODEL 3461.001 OR APPROVED EQUAL. FLUSH VALVE SHALL BE SLOAN ROYAL 1100-1.6 MANUAL FLUSHOMETER WITH BEDPAN WASHER. 1.6 GPF, POLISHED CHROME FINISH, SEMI-RED BRASS BODY, DIAPHRAGM TYPE WITH DUAL FILTERED BYPASS, NON-HOLD-OPEN ADA OSCILLATING HANDLE, VANDAL RESISTANT STOP CAP, INTEGRAL BEDPAN WASHER DIVERTER. MUST BE ADA COMPLIANT, SLOAN MODEL 3019607 OR APPROVED EQUAL. TOILET SEAT SHALL BE AMERICAN STANDARD #5901.100 HEAVY DUTY OPEN FRONT LESS COVER OR APPROVED EQUAL. INSTALL WATER CLOSET, FLUSH VALVE, AND SEAT IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS AND MUST BE IN ACCORDANCE WITH ADAAG 2010 SECTION 604.

3. EXECUTION: THE INSTALLATION SHALL BE ACCOMPLISHED BY A QUALIFIED, LICENSED CONTRACTOR RECOGNIZED AS A FULLY EXPERIENCED SPECIALIST IN THE PLUMBING TRADE.

A. GENERAL:

1) VISIT THE WORK SITE AND BECOME FULLY AWARE OF ALL EXISTING CONDITIONS.

2) CLEAN UP WORK AREA FOR PROPER OPERATION.

B. PIPING:

1) SLOPE DRAIN LINES AT 1/4" PER FOOT UNLESS OTHERWISE INDICATED. INSTALL HUBLESS CAST IRON IN ACCORDANCE WITH CISPI PAMPHLET 100.

2) PROVIDE AND INSTALL HANGERS AND SUPPORTS FOR ALL PIPE WORK TO PROVIDE FOR EXPANSION AND CONTRACTION, PREVENT VIBRATION AND MAINTAIN REQUIRED GRADING BY PROPER ADJUSTMENT.

3) SUPPORTS, HANGERS, BOLTS, NUTS, WASHERS, ETC., SHALL BE GALVANIZED UNLESS OTHERWISE SPECIFIED. SUPPORTS FOR COPPER PIPE SHALL BE IN ADDITION COATED WITH PLASTIC.

4) STERILIZE AND TEST ALL WASTE AND WATER LINES IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PLUMBING CODE.

5) PROVIDE ESCUTCHEON PLATES FOR EXPOSED ALL WALL, ROOF, AND FLOOR PENETRATIONS.

6) PROVIDE FIRE STOPPING AT ALL PENETRATIONS THRU RATED WALLS, FLOORS, ETC., AS PER BUILDING CODE REQUIREMENTS.

7) PROVIDE AND INSTALL PROPER TRANSITION FITTINGS FOR COLD WATER AND SANITARY PIPING CORRESPONDING TO THE NEW AND/OR EXISTING PIPING CONNECTIONS.

8) CERTIFICATE: SUBMIT CHLORINATION REPORT TO ARCHITECT UPON COMPLETION.

C. FIXTURES & EQUIPMENT:

1) EACH FIXTURE SHALL BE SET LEVEL AND IN CONTINUOUS CONTACT WITH FLOOR OR RECOMMENDATIONS AND BEST INDUSTRY STANDARDS. PROVIDE ADEQUATE SPACE FOR FUTURE SERVICE OF EQUIPMENT.

2) INSTALL ALL FIXTURES AND EQUIPMENT IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS.

3) JOINTS BETWEEN FIXTURES AND WALLS OR FLOOR SHALL BE PROPERLY SEALED WITH CAULK, FORMING A SMOOTH, EVEN, WATERTIGHT JOINT.

4) PROVIDE DIELECTRIC UNIONS WHEN CONNECTING DISSIMILAR METAL WATER PIPING, ACCESSORIES, OR EQUIPMENT.

5) PROVIDE STOPS OR VALVES AND P-TRAPS FOR ALL FIXTURES. PROVIDE RISERS, ESCUTCHEON PLATES, VACUUM BREAKERS, ETC., AS REQUIRED.

SECTION 15D: AUTOMATIC FIRE SPRINKLER SYSTEM

1. SCOPE: MODIFY EXISTING WET PIPE FIRE SPRINKLER SYSTEM. INSTALL COMPLETE AND READY TO OPERATE IN ACCORDANCE WITH THE SPECIFICATIONS AND AS SHOWN ON DRAWINGS.
2. DESIGN REQUIREMENTS: IT IS THE INTENT OF THE PLANS AND SPECIFICATIONS TO PROVIDE A COMPLETE INSTALLATION. SHOULD THERE BE OMISSIONS OR DISCREPANCIES IN THE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL CALL THE ATTENTION OF THE ENGINEER TO SUCH OMISSIONS AND DISCREPANCIES IN ADVANCE OF CONSTRUCTION SO THAT THE NECESSARY CORRECTIONS CAN BE MADE. OTHERWISE THE CONTRACTOR SHALL FURNISH AND INSTALL THE OMISSIONS OR DEISCREPANCIES AS IF THE SAME WERE SPECIFIED AND PROVIDED FOR.

A. STANDARDS:

1) ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM PLUMBING CODE, INTERNATIONAL BUILDING CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION, INSURANCE, HONOLULU FIRE DEPARTMENT, LANDLORD REQUIREMENTS, AND APPLICABLE ORDINANCES AND CODES OF THE CITY AND COUNTY OF HONOLULU.

2) CONTRACTOR SHALL OBTAIN ALL PERMITS, LICENSES AND CERTIFICATES AND PAY FOR ALL FEES.

3) WORK SHALL COMPLY WITH THE LATEST EDITION OF NFPA 13.
3. PRODUCTS: ALL FIRE SUPPRESSION EQUIPMENT SHALL BE SELECTED FROM "LIST OF INSPECTED FIRE PROTECTION EQUIPMENT AND MATERIALS", PUBLISHED ANNUALLY BY UL AND SHALL BEAR UL APPROVED STAMP OR LABEL.

A. PIPE AND FITTINGS:

1) PIPE: COPPER, ASTM B88, TYPE L

2) FITTINGS: WROUGHT COPPER, ANSI B31.1 WITH 95-5 SOLDER

B. SPRINKLER HEADS: SPRINKLER HEAD SHALL BE 1/2 INCH, AUTOMATIC, PENDENT RECESSED TYPE SPRINKLER HEADS IN GRID CEILING
4. EXECUTION: THE INSTALLATION SHALL BE ACCOMPLISHED BY A QUALIFIED, LICENSED CONTRACTOR RECOGNIZED AS A FULLY EXPERIENCED SPECIALIST IN AUTOMATIC FIRE SPRINKLER SYSTEMS, AND IN CONFORMANCE WITH THE LATEST EDITION OF NFPA 13.

A. POWDER SHOTS SHALL NOT BE USED TO ANCHOR HANGERS TO SUPPORT FIRE SPRINKLER PIPING OR ELECTRICAL/COMMUNICATIONS WIRING.

B. FIRE SPRINKLER PIPING SHALL NOT BE SUPPORTED FROM DUCTS, CONDUITS, AND AIR CONDITIONING PIPING OR ELECTRICAL/COMMUNICATIONS WIRING.

C. PIPING:

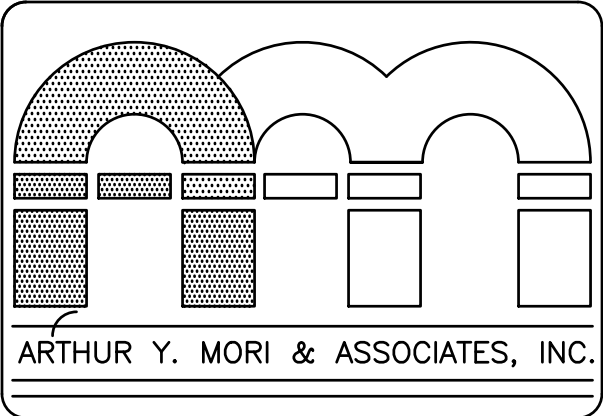
1) PROVIDE AND INSTALL HANGERS AND SUPPORTS FOR ALL PIPE WORK TO PROVIDE FOR EXPANSION AND CONTRACTION, PREVENT VIBRATION AND MAINTAIN REQUIRED GRADING BY PROPER ADJUSTMENT.

5) PROPER ADJUSTMENT.

2) SUPPORTS, HANGERS, BOLTS, NUTS, WASHERS, ETC., SHALL BE GALVANIZED UNLESS SPECIFIED. SUPPORTS FOR COPPER PIPE SHALL BE IN ADDITION COATED WITH PLASTIC.

3) STERILIZE AND TEST ALL WASTE AND WATER LINES IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PLUMBING CODE.

4) PROVIDE ESCUTCHEON PLATES FOR EXPOSED ALL WALL, ROOF, AND FLOOR PENETRATIONS.
- CERTIFICATE: SUBMIT CHLORINATION REPORT TO ARCHITECT UPON COMPLETION.



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

ADA RENOVATIONS

Maluhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

Bid Set

MECHANICAL SPECIFICATIONS

1-6-009-004

TWK

ROSS R. TANAKA  
LICENSED PROFESSIONAL ENGINEER  
No. 9301-M  
HAWAII, U.S.A.

LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 15-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

Signature

NO.	REVISION
△	
△	
△	
△	
△	
JOB NO.	-

SHEET

M010

DATE

SEPT 18, 2025

27

OF

32

SHTS

10  
5  
3  
1  
0  
40  
20  
10  
6  
2  
0  
2  
1  
0  
4  
2  
1  
3/4"=1'-0"  
GRAPHIC SCALES



ELECTRICAL SPECIFICATIONS

1.

ALL WORK PER N.E.C. AND COUNTY BUILDING CODES AND THE REQUIREMENTS OF THE OWNER. CONSTRUCTION PRACTICES SHALL CONFORM TO THE LATEST EDITION OF AMERICAN ELECTRICIANS' HANDBOOK BY CROFT, AND APPLICABLE INSTRUCTIONS OF MANUFACTURERS OF EQUIPMENT AND MATERIAL SUPPLIED FOR THIS PROJECT. ALL MATERIALS SHALL BE NEW AND BEAR THE UL LABEL WHERE APPLICABLE. THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR. INSTALLATION SHALL BE COMPLETE IN EVERY DETAIL AS SPECIFIED AND READY FOR USE.
2.

OBTAIN AND PAY FOR ELECTRICAL PERMIT, ARRANGE FOR PERIODIC INSPECTION BY LOCAL AUTHORITIES, DELIVER CERTIFICATE OF FINAL INSPECTION TO OWNER.
3.

CIRCUIT ROUTING IS TYPICAL ONLY AND MAY BE VARIED IN ANY LOGICAL MANNER. ONE SET OF "AS-BUILT" PLANS SHALL BE PREPARED BY THE CONTRACTOR AND DELIVERED TO THE OWNER NOT LATER THAN TWO DAYS BEFORE FINAL INSPECTION. ANY DEVICE MAY BE RELOCATED WITHIN 10' BEFORE INSTALLATION AT THE DIRECTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
4.

SUBMIT SHOP DRAWINGS OF LUMINAIRES AND LIGHTING CONTROL EQUIPMENT.
5.

ALL WIRING SHALL BE CONCEALED IN WALLS, CEILINGS, FLOORS, AND FURRED SPACES UNLESS OTHERWISE NOTED. CONDUCTORS SHALL BE COPPER. CONDUCTORS #10 AWG AND SMALLER SHALL BE TYPE "THWN" AND CONDUCTORS LARGER THAN #10 SHALL BE TYPE "THW" UNLESS OTHERWISE NOTED. CONDUCTORS INSTALLED IN DAMP LOCATIONS SHALL BE TYPE "THW". WIRING SHALL BE IN METAL RACEWAY. TYPES NM AND AC NOT ACCEPTABLE.
6.

ALL WIRING AND OVERCURRENT DEVICES FOR EQUIPMENT FURNISHED BY OTHER TRADES ARE SIZED FOR CONTEMPLATED EQUIPMENT SIZE. IF EQUIPMENT OTHER THAN CONTEMPLATED AND INDICATED ON THE PLAN IS PROVIDED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE REQUIRED WIRING AND OVERCURRENT DEVICES. THE CONTRACTOR SHALL SUBMIT THE PROPOSED CHANGES TO THE ENGINEER FOR APPROVAL.
7.

WALLBOX-MOUNTED OCCUPANCY SENSORS FOR SINGLE-ROOM LIGHTING CONTROL SHALL BE DUAL-TECHNOLOGY PASSIVE INFRARED AND ULTRASONIC TYPE, 20' MINIMUM FULL-COVERAGE RANGE, USER-ADJUSTABLE TIME DELAY OFF WITH WALK-THROUGH FEATURE, AUTO/MANUAL ON, AND TEST MODE, 120/277V. WATT-STOPPER #DW-100 OR EQUAL, WHITE.
8.

THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES TO AVOID CONFLICTS WITH MECHANICAL, STRUCTURAL AND ARCHITECTURAL ELEMENTS OF THIS PROJECT.
9.

ACCESSORY ITEMS OF ELECTRICAL EQUIPMENT NOT NOTED IN THE PLANS AND SPECIFICATIONS, BUT NECESSARY FOR A COMPLETE INSTALLATION, SHALL BE PROVIDED AS PART OF THE ELECTRICAL WORK. THE DRAWINGS NOTE VARIOUS SIZES OF EQUIPMENT AS DETERMINED FOR BASIS OF DESIGN; HOWEVER, THE ELECTRICAL WORK SHALL BE INSTALLED TO COMPLY WITH THE EQUIPMENT SIZES FURNISHED BY THE SUCCESSFUL SUPPLIER.
10.

THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING HIS BID TO DETERMINE THE SITE CONDITIONS, AND NATURE AND EXTENT OF WORK REQUIRED, MAINTAIN EXISTING CIRCUITING TO LIGHTS, OUTLETS AND EQUIPMENT OUTSIDE OF PROJECT AREA AND NOT OTHERWISE SHOWN.

L U M I N A I R E S C H E D U L E		
TYPE	DESCRIPTIONS	L A M P
①	LED 5"W x 48"L RECESSED LINEAR LIGHT, ACRYLIC DIFFUSER, SYMMETRIC DISTRIBUTION, MULTIVOLT DRIVER A-LIGHT #G5-4-LS-35-U-W-D OR APPROVED EQUAL	2000 LUMEN (20W) LED, 3500K
①A	LED, SAME AS TYPE '1' EXCEPT 24"L A-LIGHT #G5-2-LS-35-U-W-D OR APPROVED EQUAL	1000 LUMEN (10W) LED, 3500K

ELECTRICAL LEGEND AND NOTES

NUMERALS IN CIRCLES FOR LUMINAIRE SYMBOLS CORRESPOND TO LUMINAIRE SCHEDULE

- CEILING MOUNTED OUTLET WITH LINEAR LUMINAIRE
- CEILING MOUNTED OUTLET WITH LUMINAIRE
- \$

SINGLE POLE SWITCH AT +4'-0" UNLESS NOTED
- 
- WALL MOUNTED OCCUPANCY SENSOR

TOILET OR SHOWER EMERGENCY CALL STATION

- E

DENOTES EXISTING TO REMAIN
- R

DENOTES EXISTING TO BE REMOVED
- ER

DENOTES EXISTING TO BE RELOCATED
- RD

DENOTES RELOCATED EQUIPMENT
- +4°

DENOTES 4'-0" ABOVE FINISHED FLOOR
- +15"

DENOTES 15 INCHES ABOVE FINISHED FLOOR
- CONDUIT WITH WIRING CONCEALED IN CEILING OR WALL
- CONDUIT WITH WIRING CONCEALED IN FLOOR OR WALL
- EXPOSED CONDUIT OR OVERHEAD SERVICE

1. LOWER CASE LETTERS (a,b,c) ARE USED ON GANGED SWITCHES TO INDICATE OUTLETS CONTROLLED, NUMERALS USED AS SUBSCRIPTS TO OUTLETS INDICATE CIRCUIT TO WHICH EACH IS CONNECTED.
2. ANY CIRCUIT WITHOUT FURTHER DESIGNATION INDICATES A TWO WIRE CIRCUIT. FOR A GREATER NUMBER OF WIRES THE INDICATION IS BY "HASHMARKS" AS FOLLOWS: 

///

3 WIRES, 

////

4 WIRES, ETC.

+G

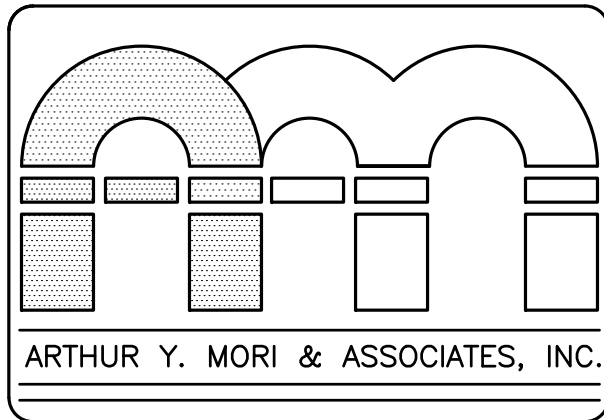
DENOTES GROUND CONDUCTOR.

PALEKANA PERMITS  
THIRD PARTY CERTIFICATION

- ☐ Bldg. Code

☐ Elec. Code
- ☐ Mech. Code

☐ Residential Code
- ☐ Structural Code (Non-Single/2-Family Dwelling)



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

ADA RENOVATIONS

Maluhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

Bid Set

SHEET TITLE  
ELECTRICAL LEGEND & NOTES, LUMINAIRE SCHEDULE

BENNETT ENGINEERS INC.



LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

*Ryan R Hashiro*  
SIGNATURE

NO.	REVISION
△	
△	
△	
△	
△	
JOB NO.	-

SHEET

E000

DATE

SEPT 18, 2025

28

OF

32

SHTS

CITY AND COUNTY OF HONOLULU  
REVISED ORDINANCES OF HONOLULU 2021  
CHAPTER 16B

TO THE BEST OF MY KNOWLEDGE, THIS PROJECT'S DESIGN SUBSTANTIALLY CONFORMS TO THE BUILDING ENERGY CONSERVATION CODE FOR:

BUILDING COMPONENT SYSTEMS

X

ELECTRICAL COMPONENT SYSTEMS

MECHANICAL COMPONENT SYSTEMS

SIGNATURE: *Ryan R Hashiro*

DATE: 09/18/25

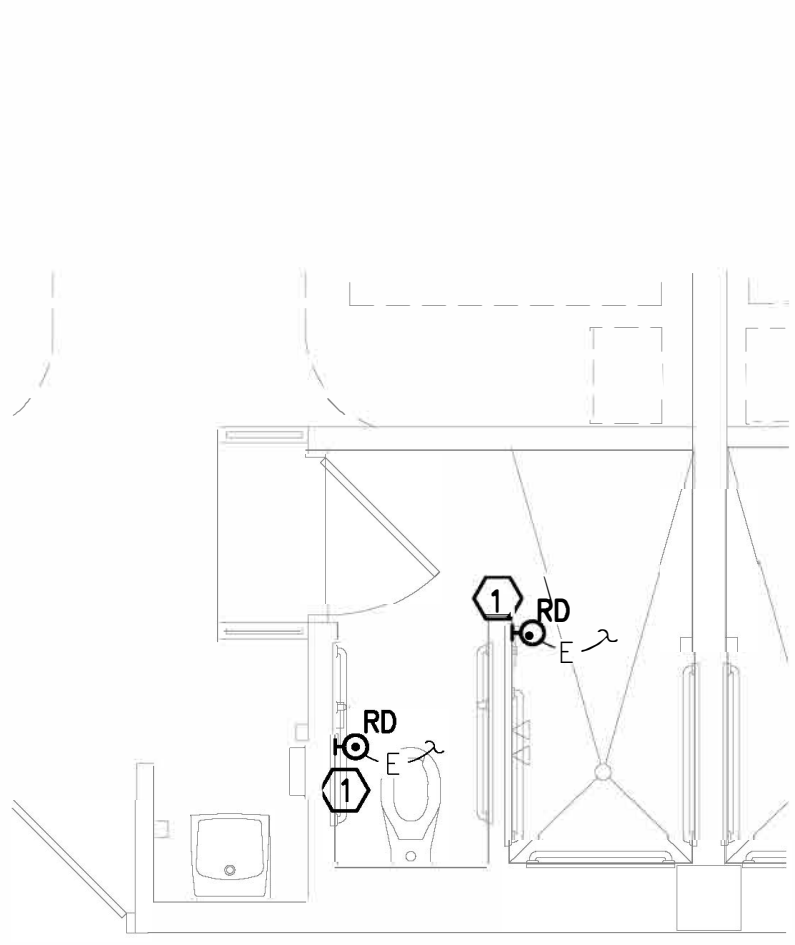
NAME: RYAN R. HASHIRO

TITLE: ELECTRICAL ENGINEER

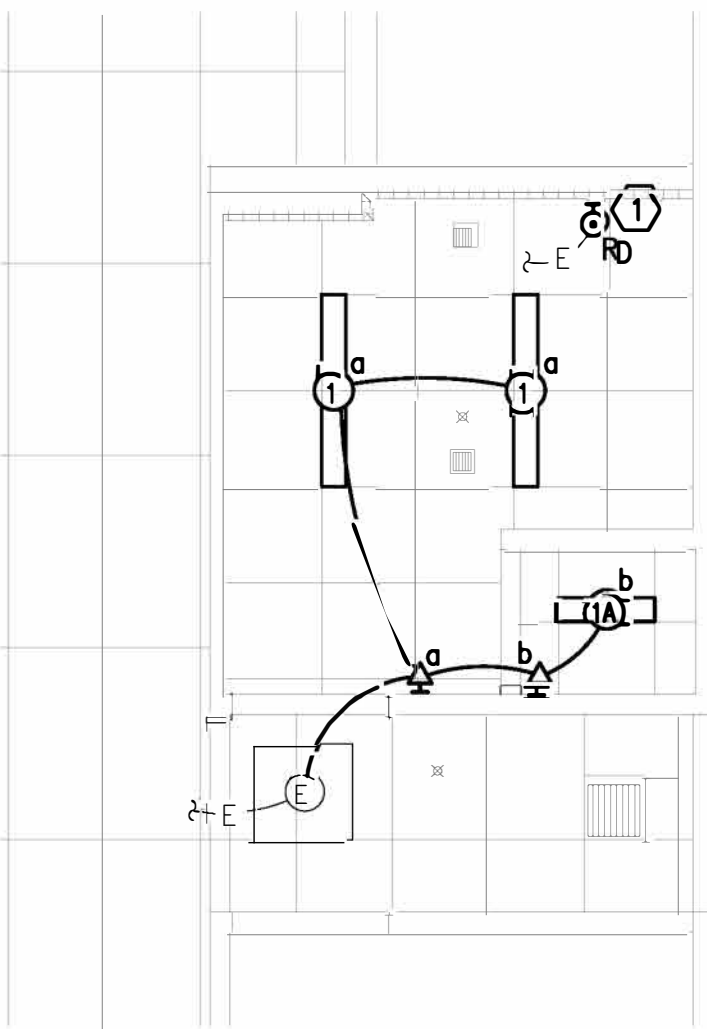
LICENSE NO.: 8717-E



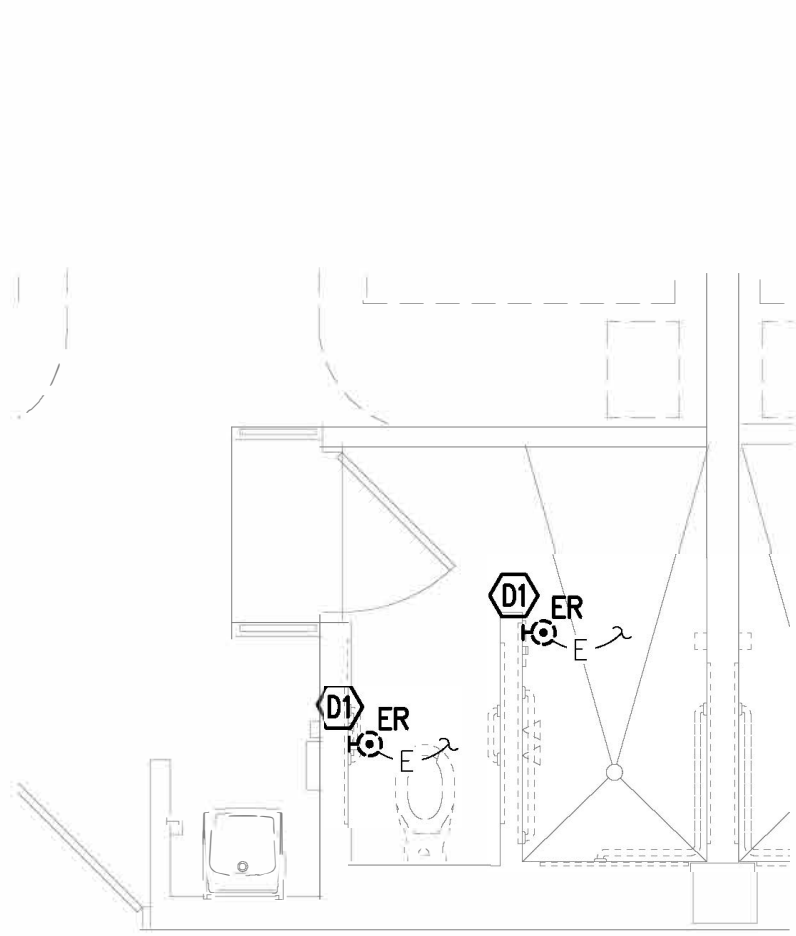




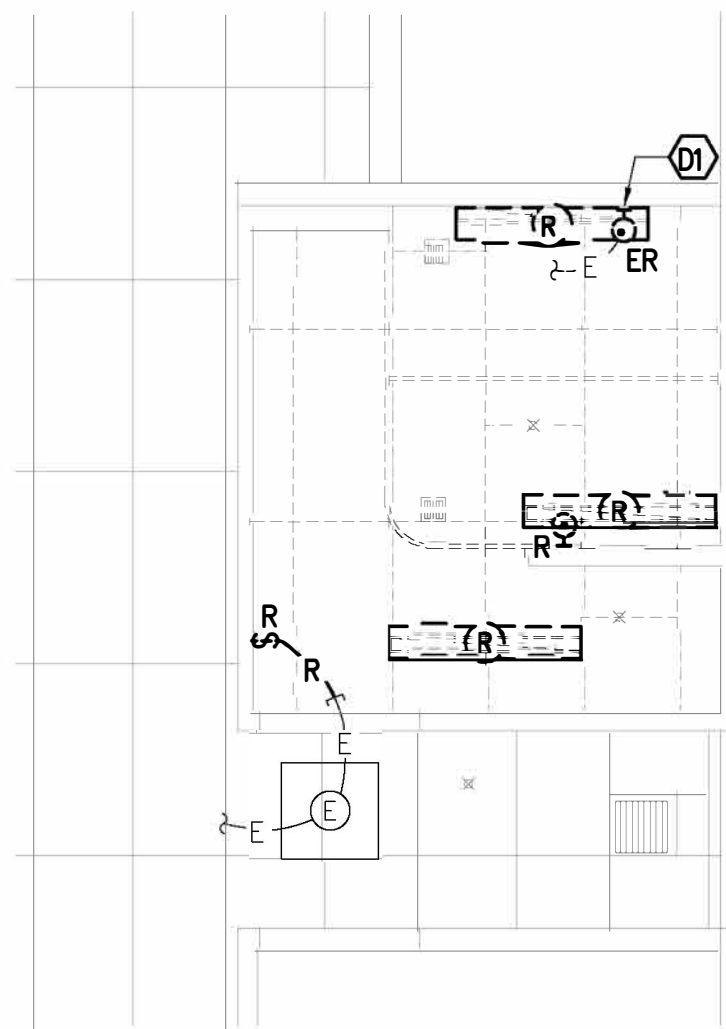
**ELECTRICAL NEW WORK PLAN**  
SCALE: 1 / 4" = 1' - 0"  
(2ND FLR PATIENT RMS 209,210,211,212,213) (2)



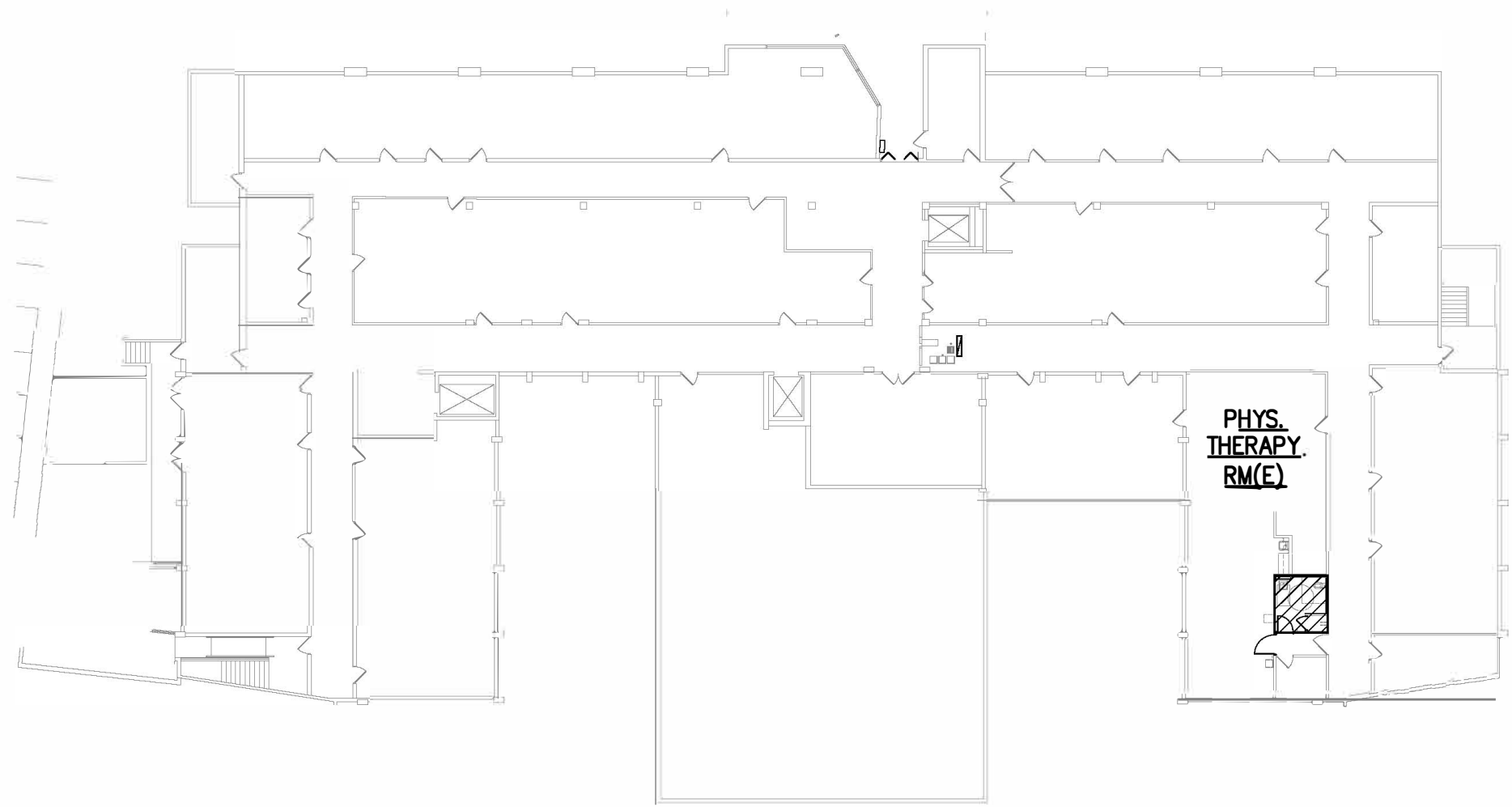
**LIGHTING NEW WORK PLAN**  
SCALE: 1 / 4" = 1' - 0"  
(1ST FLR PHYSICAL THERAPY TOILET RM)



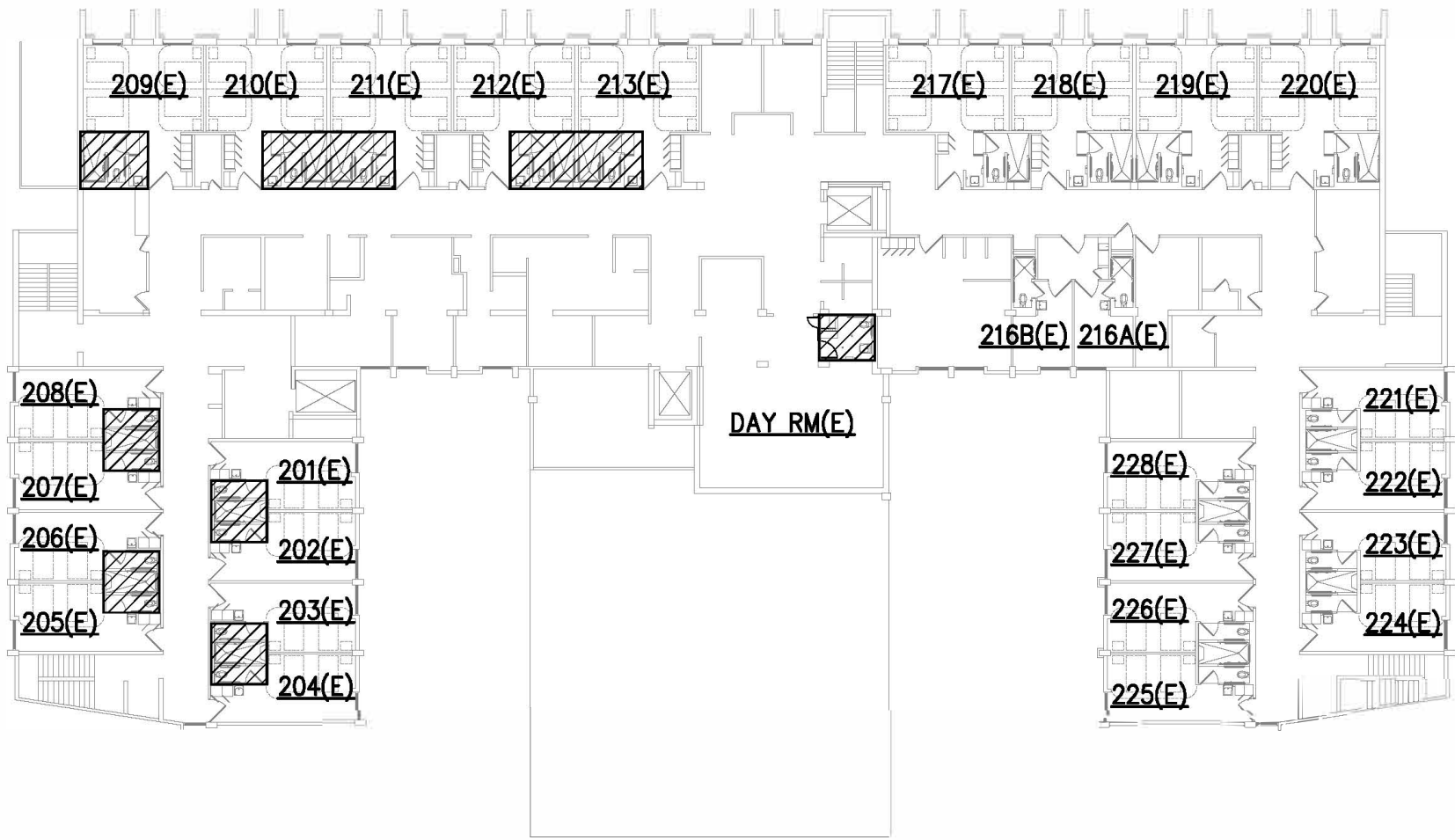
**ELECTRICAL DEMO PLAN**  
SCALE: 1 / 4" = 1' - 0"  
(2ND FLR PATIENT RMS 209,210,211,212,213) (D2)



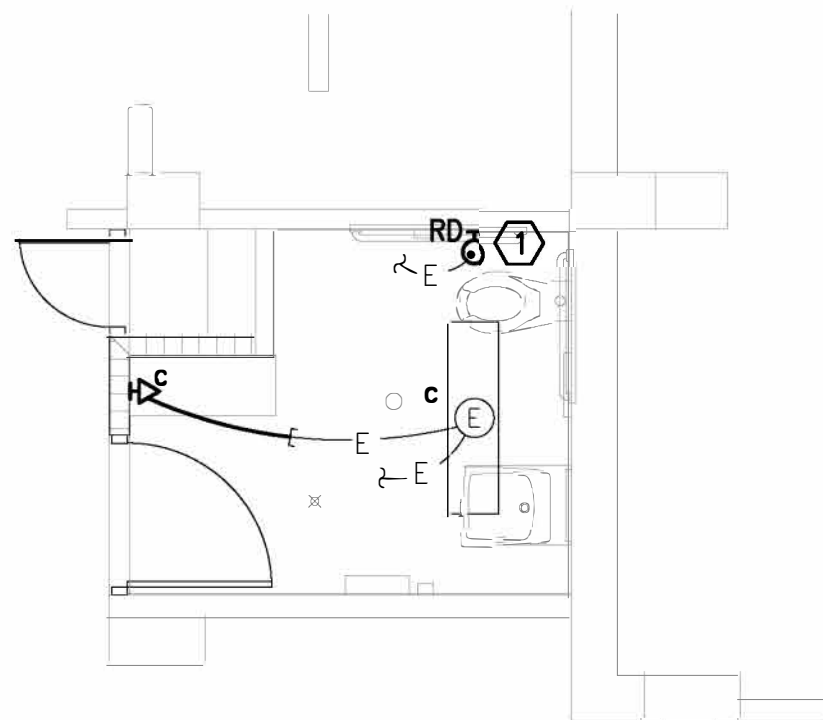
**LIGHTING DEMO PLAN**  
SCALE: 1 / 4" = 1' - 0"  
(1ST FLR PHYSICAL THERAPY TOILET RM)



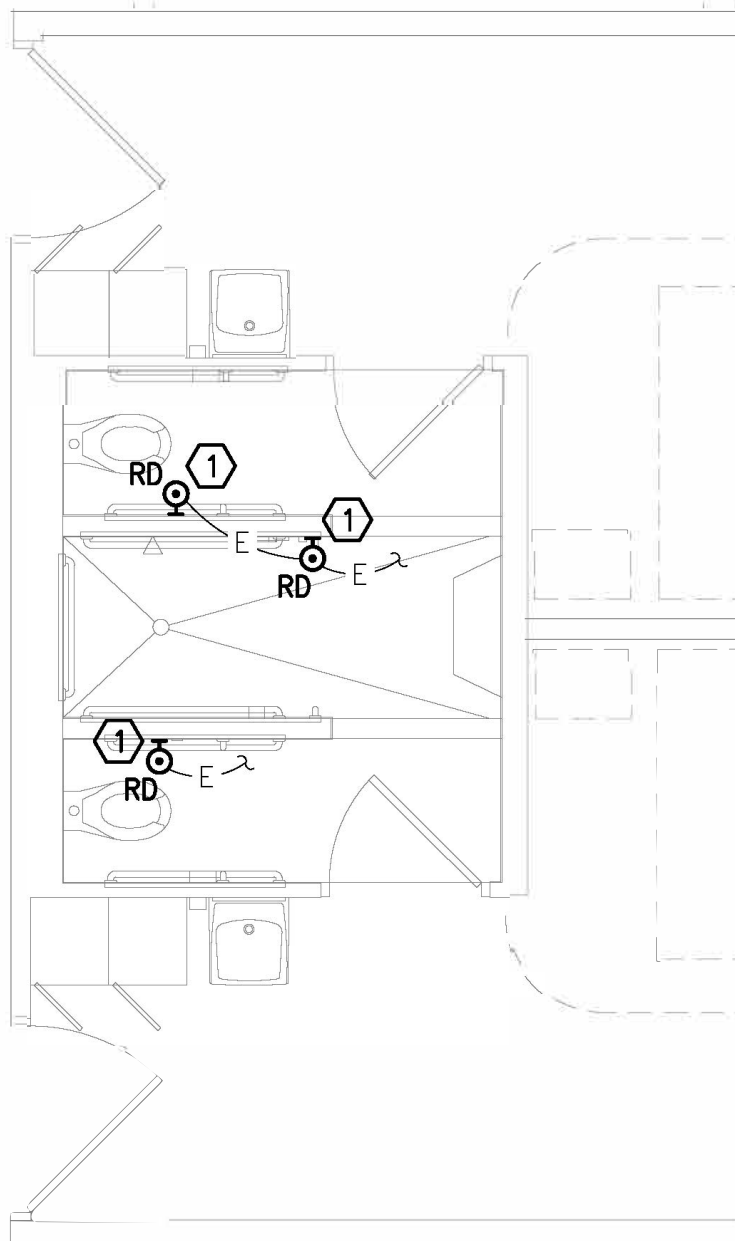
**LOCATION PLAN - 1ST FLR**  
NOT TO SCALE



**LOCATION PLAN - 2ND FLR**  
NOT TO SCALE

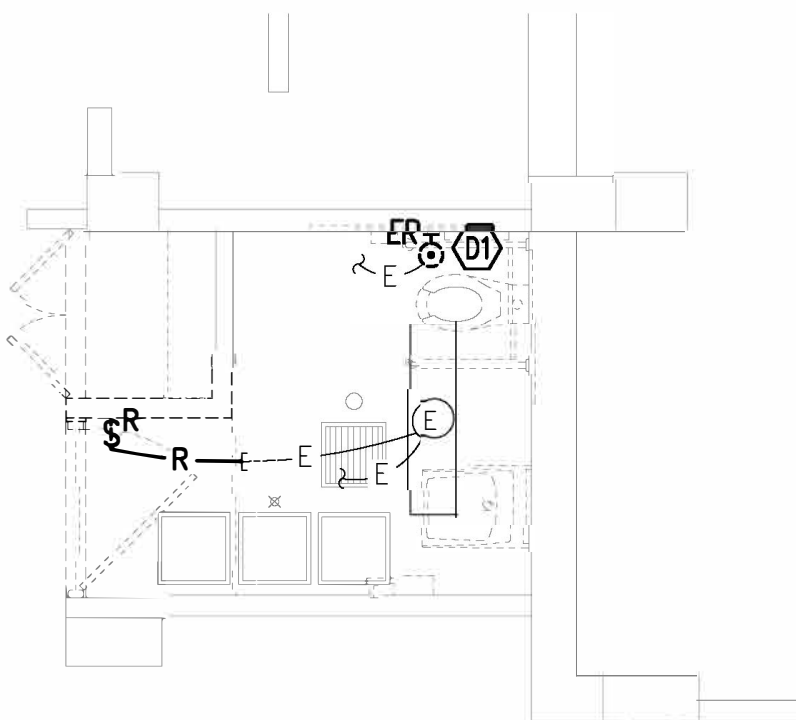


**ELECTRICAL NEW WORK PLAN**  
SCALE: 1 / 4" = 1' - 0"  
(2ND FLR DAY ROOM TOILET)

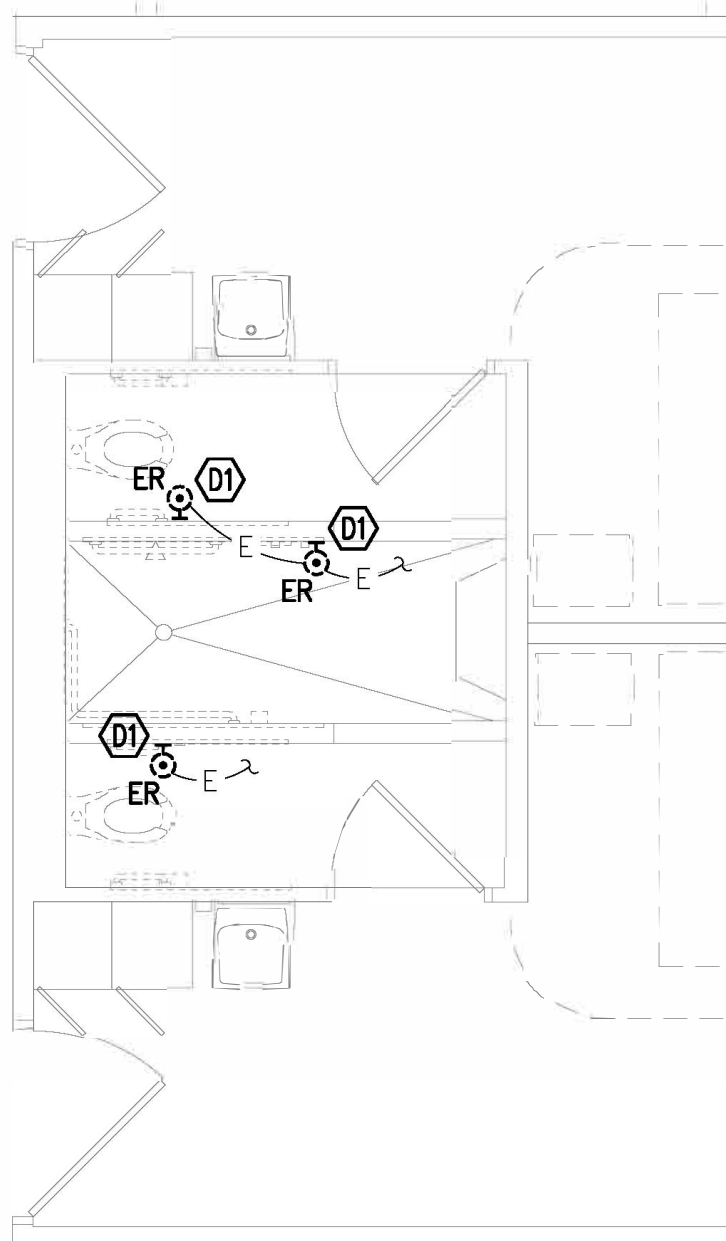


**ELECTRICAL NEW WORK PLAN**  
SCALE: 1 / 4" = 1' - 0"  
(2ND FLR PATIENT RMS 201,202,203,204,205,206,207,208) (2)

- ELECTRICAL NEW WORK PLAN NOTES:**
- (1) REINSTALLED TOILET/SHOWER CALL STATION. MAINTAIN EXISTING CONNECTIONS.
  - (2) TOILET RMS 205,206,207,208,209,211,213 ARE MIRRORRED CONFIG FROM PLAN SHOWN.



**ELECTRICAL DEMO PLAN**  
SCALE: 1 / 4" = 1' - 0"  
(2ND FLR DAY ROOM TOILET)



**ELECTRICAL DEMO PLAN**  
SCALE: 1 / 4" = 1' - 0"  
(2ND FLR PATIENT RMS 201,202,203,204,205,206,207,208) (D2)

- ELECTRICAL DEMOLITION PLAN NOTES:**
- (D1) TEMPORARILY REMOVE INDICATED TOILET/SHOWER CALL STATION TO FACILITATE RENOVATION WORK. REINSTALL UPON COMPLETION OF RENOVATION.
  - (D2) TOILET RMS 205,206,207,208,209,211,213 ARE MIRRORRED CONFIG FROM PLAN SHOWN.

**PALEKANA PERMITS  
THIRD PARTY CERTIFICATION**

☐ Bldg. Code    ☐ Elec. Code  
☐ Mech. Code    ☐ Residential Code  
☐ Structural Code (Non-Single/2-Family Dwelling)

**ARTHUR Y. MORI & ASSOCIATES, INC.**

**ARCHITECTS AIA**  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

**ADA RENOVATIONS**

Maluhia – 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

Bid Set

**ELECTRICAL PLANS – BASE BID**

**BENNETT ENGINEERS INC.**

**RYAN R. HASHIRO**  
LICENSED PROFESSIONAL ENGINEER  
No. 8717-E  
HAWAII, U.S.A.

LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

*Ryan R. Hashiro*  
SIGNATURE

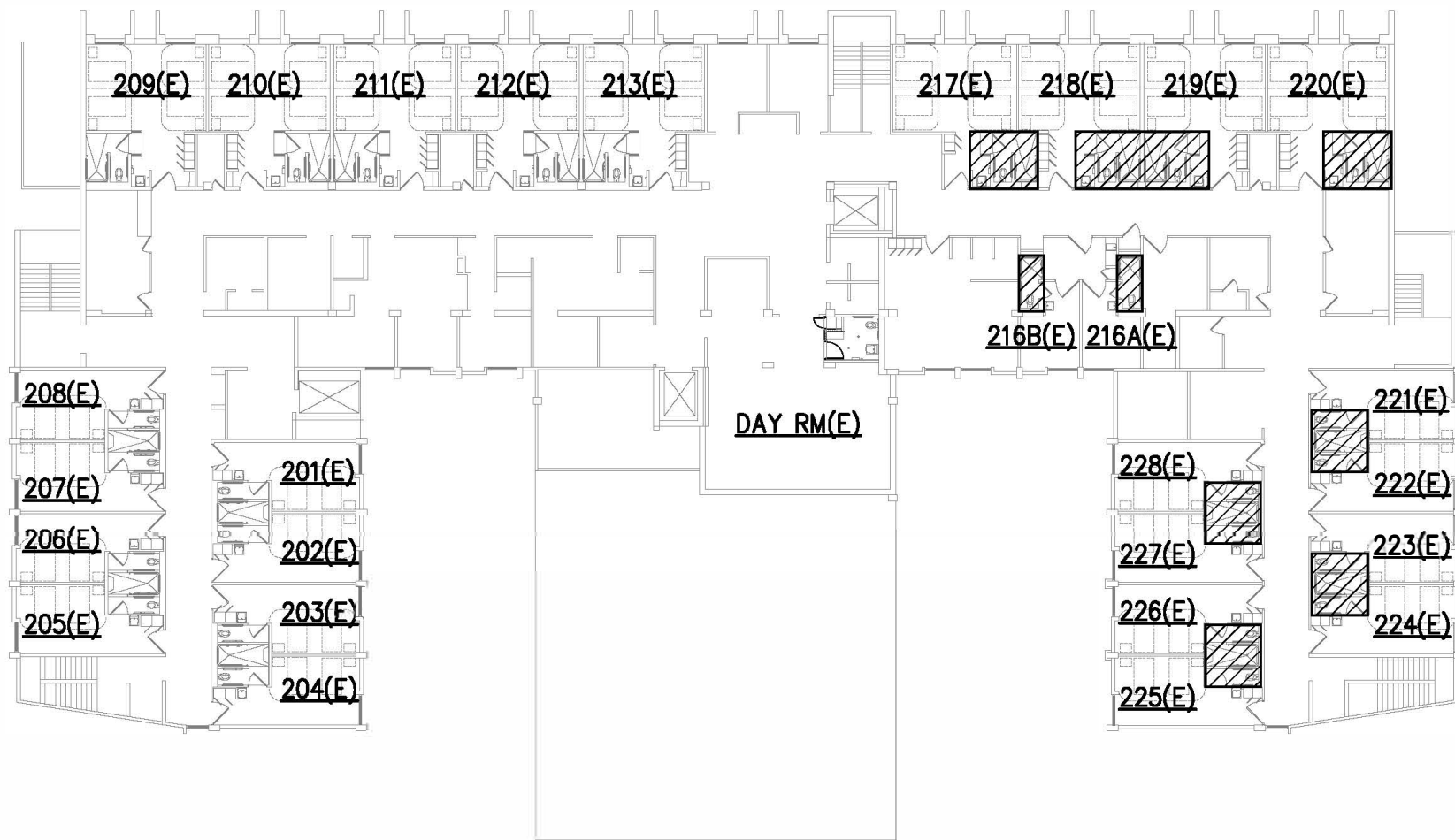
NO.	REVISION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

JOB NO. -

SHEET **E001** DATE **SEPT 18, 2025**

29 OF 32 SHTS





LOCATION PLAN - 2ND FLR  
NOT TO SCALE

ELECTRICAL NEW WORK PLAN  
SCALE: 1/4" = 1' - 0"  
(2ND FLR PATIENT RMS 221,222,223,224,225,226,227,228) (2)

ELECTRICAL NEW WORK PLAN  
SCALE: 1/4" = 1' - 0"  
(2ND FLR PATIENT RMS 217,218,219,220) (2)

ELECTRICAL NEW WORK PLAN  
SCALE: 1/4" = 1' - 0"  
(2ND FLR PATIENT RMS 216A & 216B) (2)

ELECTRICAL NEW WORK PLAN NOTES:

- (1) REINSTALLED TOILET/SHOWER CALL STATION. MAINTAIN EXISTING CONNECTIONS.  
(2) TOILET RMS 216B,219,225,226,227,228 ARE MIRRORED CONFIG FROM PLAN SHOWN.

ELECTRICAL DEMO PLAN  
SCALE: 1/4" = 1' - 0"  
(2ND FLR PATIENT RMS 221,222,223,224,225,226,227,228) (D2)

ELECTRICAL DEMO PLAN  
SCALE: 1/4" = 1' - 0"  
(2ND FLR PATIENT RMS 217,218,219,220) (D2)

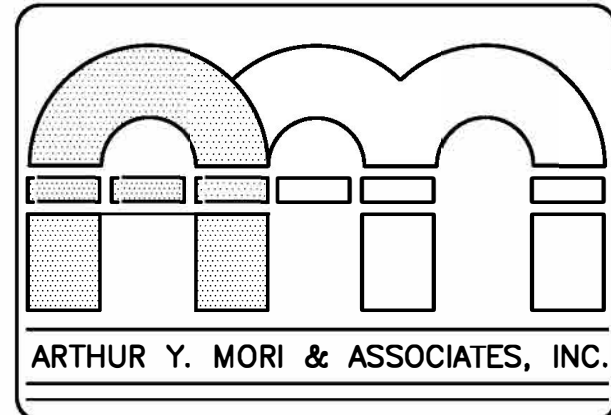
ELECTRICAL DEMO PLAN  
SCALE: 1/4" = 1' - 0"  
(2ND FLR PATIENT RMS 216A & 216B) (D2)

ELECTRICAL DEMOLITION PLAN NOTES:

- (D1) TEMPORARILY REMOVE INDICATED TOILET/SHOWER CALL STATION TO FACILITATE RENOVATION WORK. REINSTALL UPON COMPLETION OF RENOVATION.  
(D2) TOILET RMS 216B,219,225,226,227,228 ARE MIRRORED CONFIG FROM PLAN SHOWN.

PALEKANA PERMITS  
THIRD PARTY CERTIFICATION

- ☐ Bldg. Code ☐ Elec. Code  
☐ Mech. Code ☐ Residential Code  
☐ Structural Code (Non-Single/2-Family Dwelling)



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

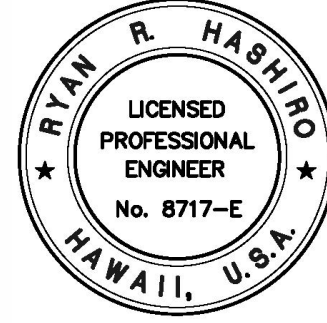
ADA RENOVATIONS

Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

Bid Set

SHEET TITLE  
ELECTRICAL PLANS - ADD ALT 1

BENNETT ENGINEERS INC.



LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

*Ryan R. Hashio*  
SIGNATURE

NO. REVISION

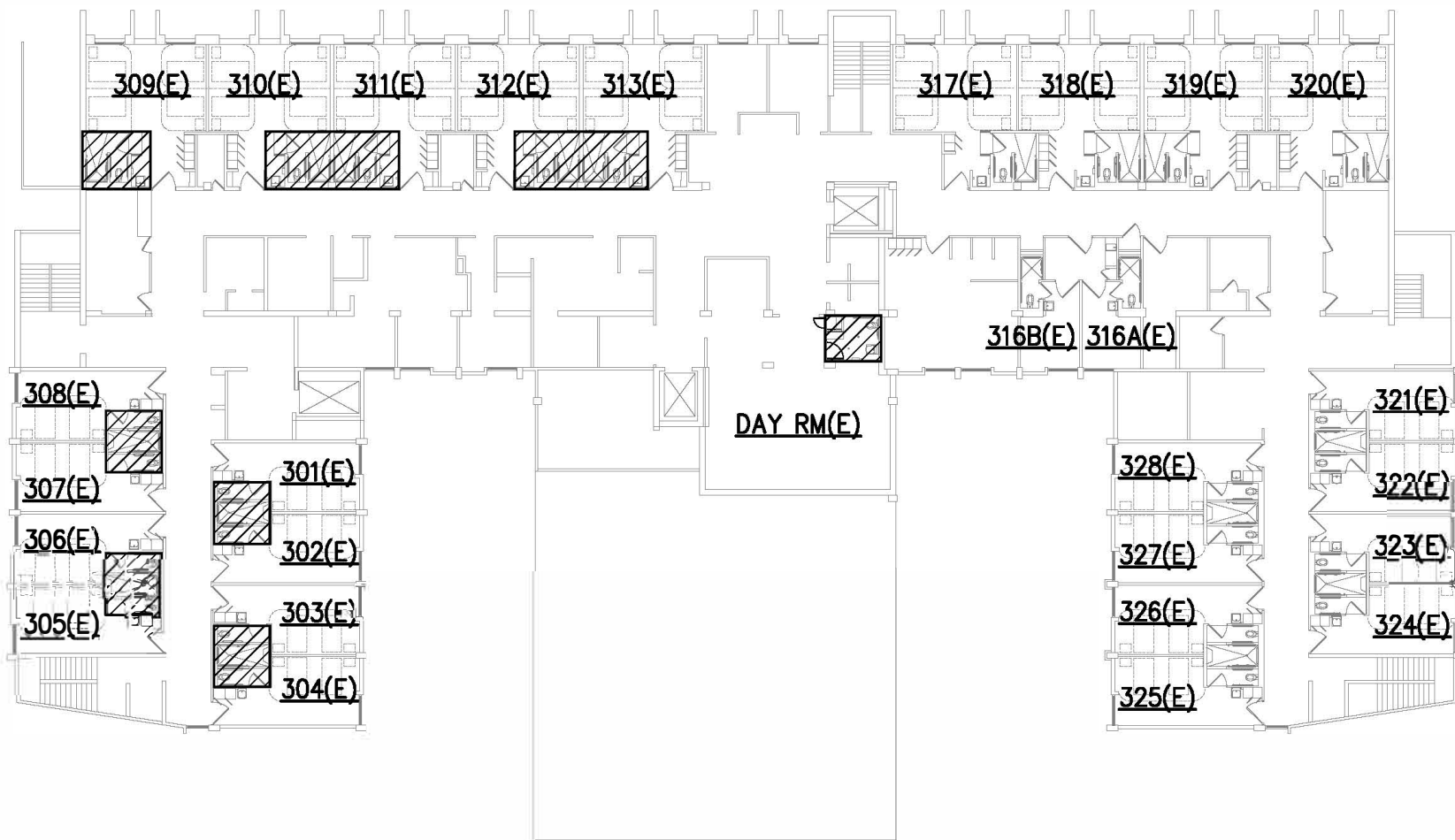
△		
△		
△		
△		
△		

JOB NO. -

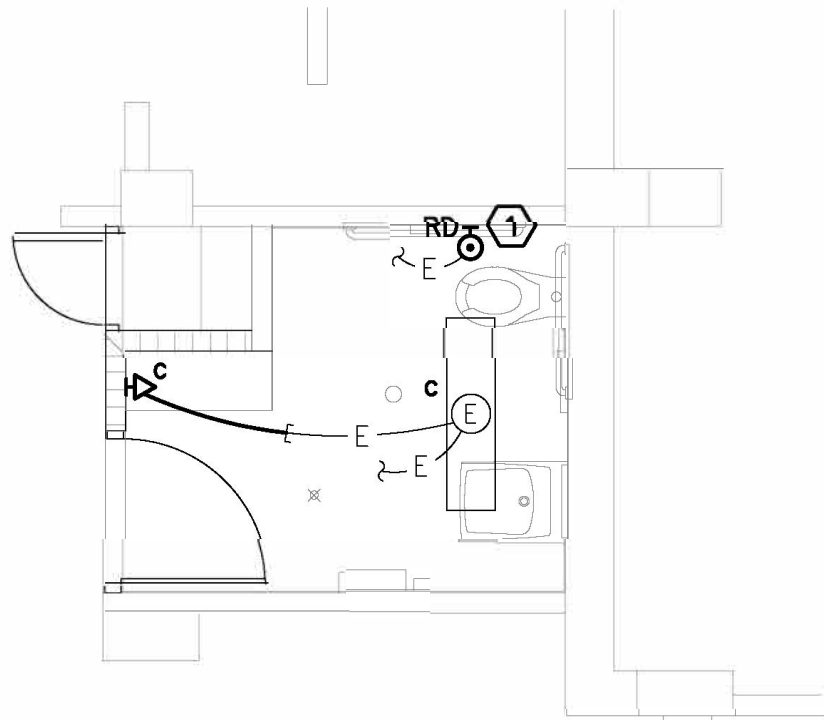
SHEET  
E002  
DATE SEPT 18, 2025  
30 OF 32 SHTS

3/4"=1'-0"  
GRAPHIC SCALES

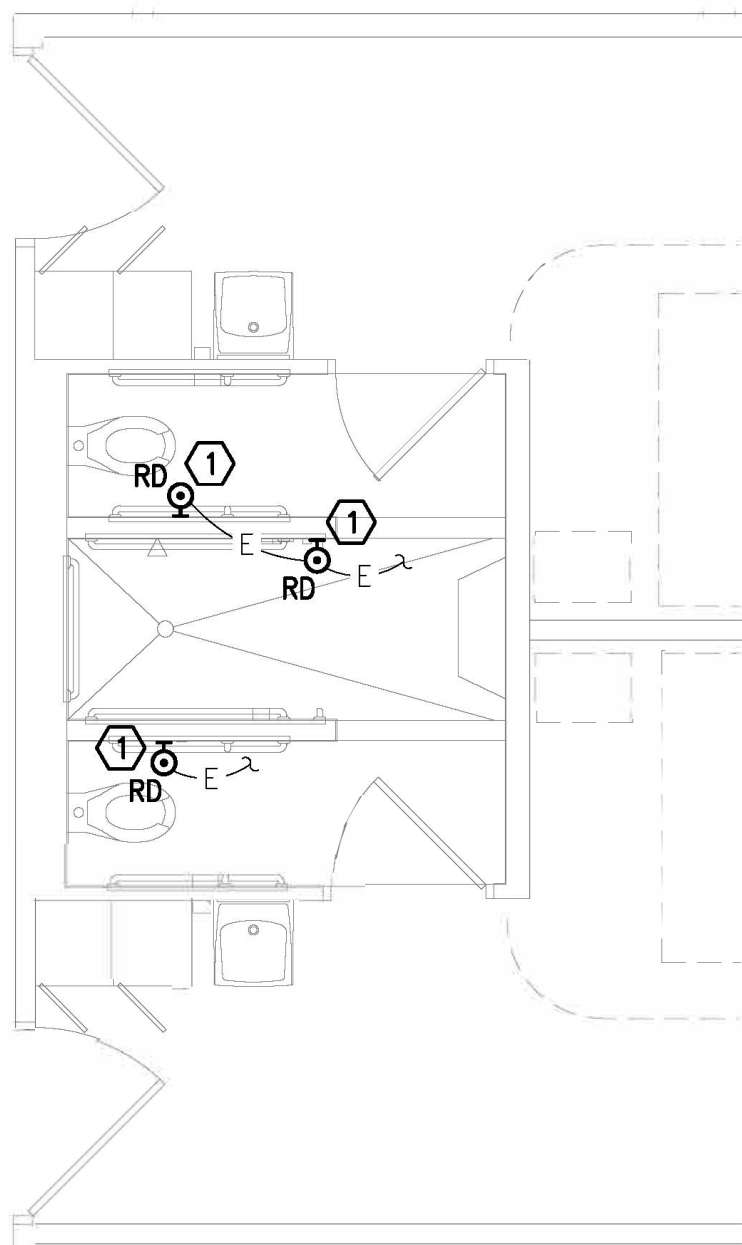




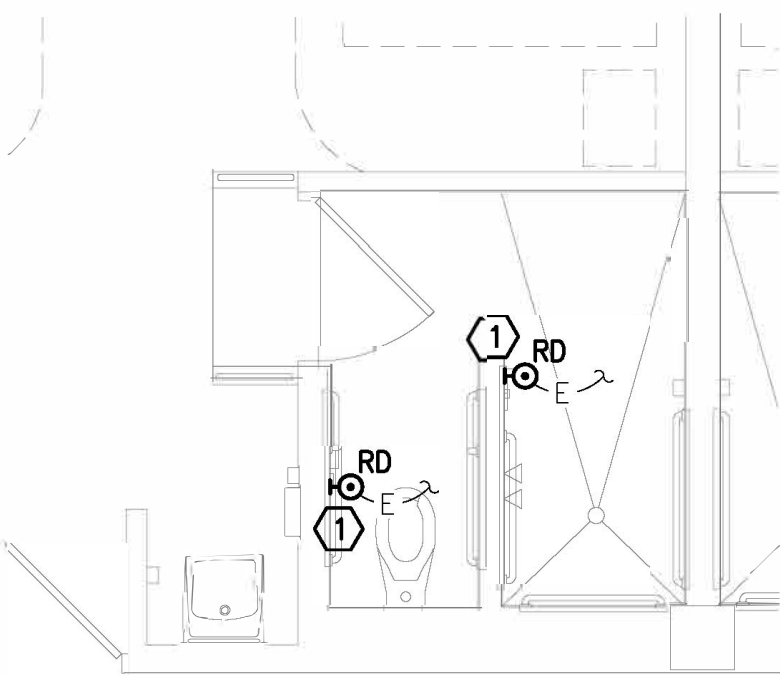
LOCATION PLAN - 3RD FLR  
NOT TO SCALE



ELECTRICAL NEW WORK PLAN  
SCALE: 1/4" = 1' - 0"  
(3RD FLR DAY ROOM TOILET)



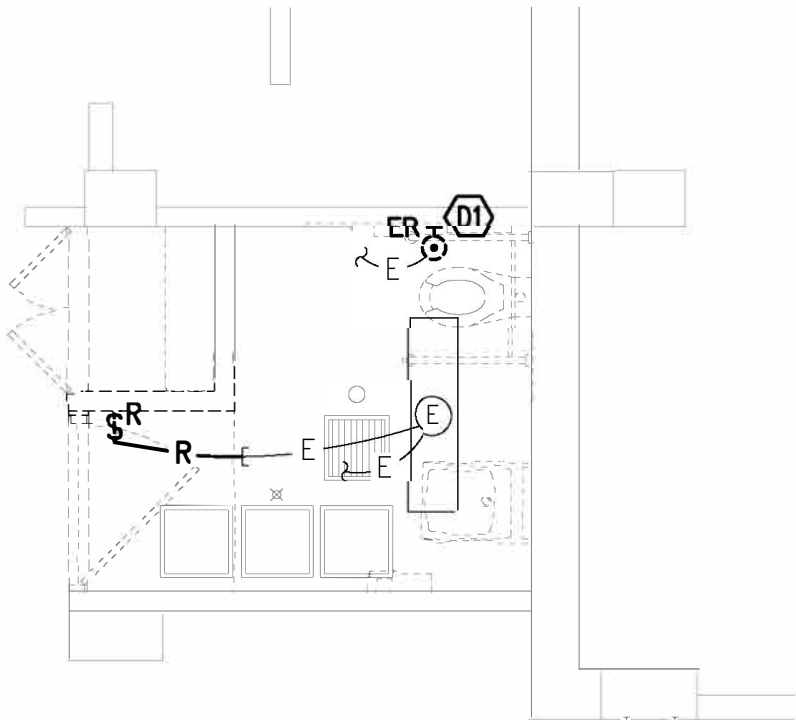
ELECTRICAL NEW WORK PLAN  
SCALE: 1/4" = 1' - 0"  
(3RD FLR PATIENT RMS 301,302,303,304,305,306,307,308) (2)



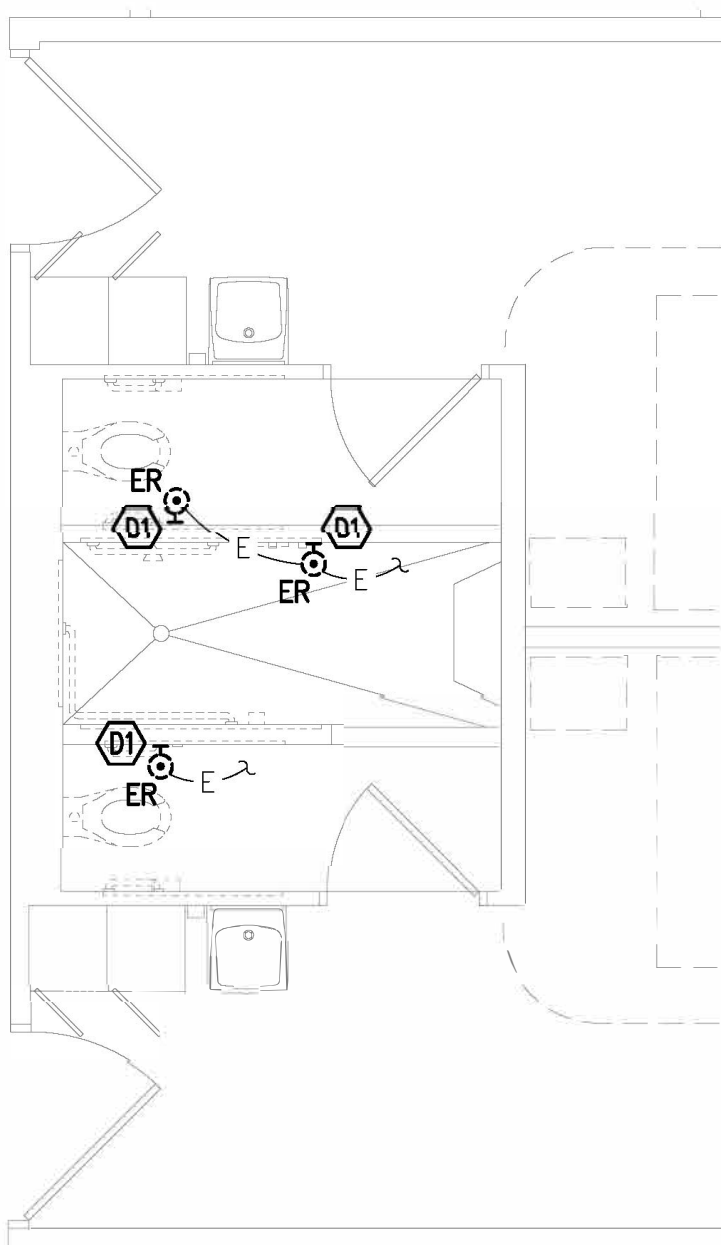
ELECTRICAL NEW WORK PLAN  
SCALE: 1/4" = 1' - 0"  
(3RD FLR PATIENT RMS 309,310,311,312,313) (2)

ELECTRICAL NEW WORK PLAN NOTES:

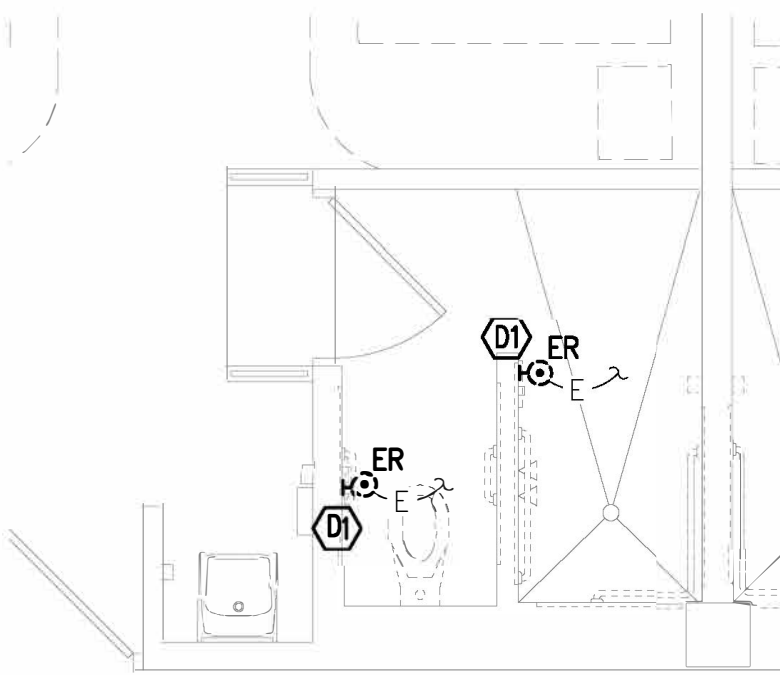
- (1) REINSTALLED TOILET/SHOWER CALL STATION. MAINTAIN EXISTING CONNECTIONS.  
(2) TOILET RMS 305,306,307,308,309,311,313 ARE MIRRORRED CONFIG FROM PLAN SHOWN.



ELECTRICAL DEMO PLAN  
SCALE: 1/4" = 1' - 0"  
(3RD FLR DAY ROOM TOILET)



ELECTRICAL DEMO PLAN  
SCALE: 1/4" = 1' - 0"  
(3RD FLR PATIENT RMS 301,302,303,304,305,306,307,308) (D2)



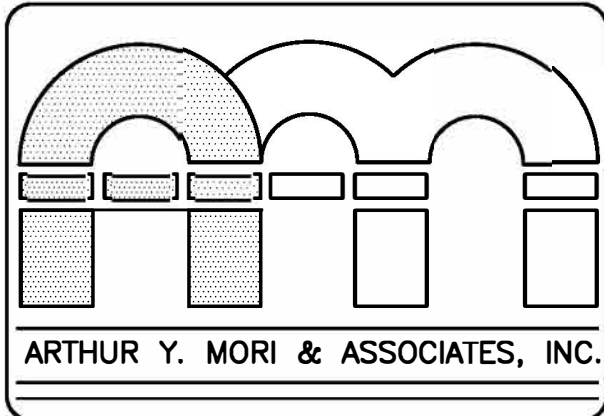
ELECTRICAL DEMO PLAN  
SCALE: 1/4" = 1' - 0"  
(3RD FLR PATIENT RMS 309,310,311,312,313) (D2)

ELECTRICAL DEMOLITION PLAN NOTES:

- (D1) TEMPORARILY REMOVE INDICATED TOILET/SHOWER CALL STATION TO FACILITATE RENOVATION WORK. REINSTALL UPON COMPLETION OF RENOVATION.  
(D2) TOILET RMS 305,306,307,308,309,311,313 ARE MIRRORRED CONFIG FROM PLAN SHOWN.

PALEKANA PERMITS  
THIRD PARTY CERTIFICATION

- ☐ Bldg. Code ☐ Elec. Code  
☐ Mech. Code ☐ Residential Code  
☐ Structural Code (Non-Single/2-Family Dwelling)



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

ADA RENOVATIONS

Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

Bid Set

SHEET TITLE  
ELECTRICAL PLANS - ADD ALT 2

BENNETT ENGINEERS INC.



LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

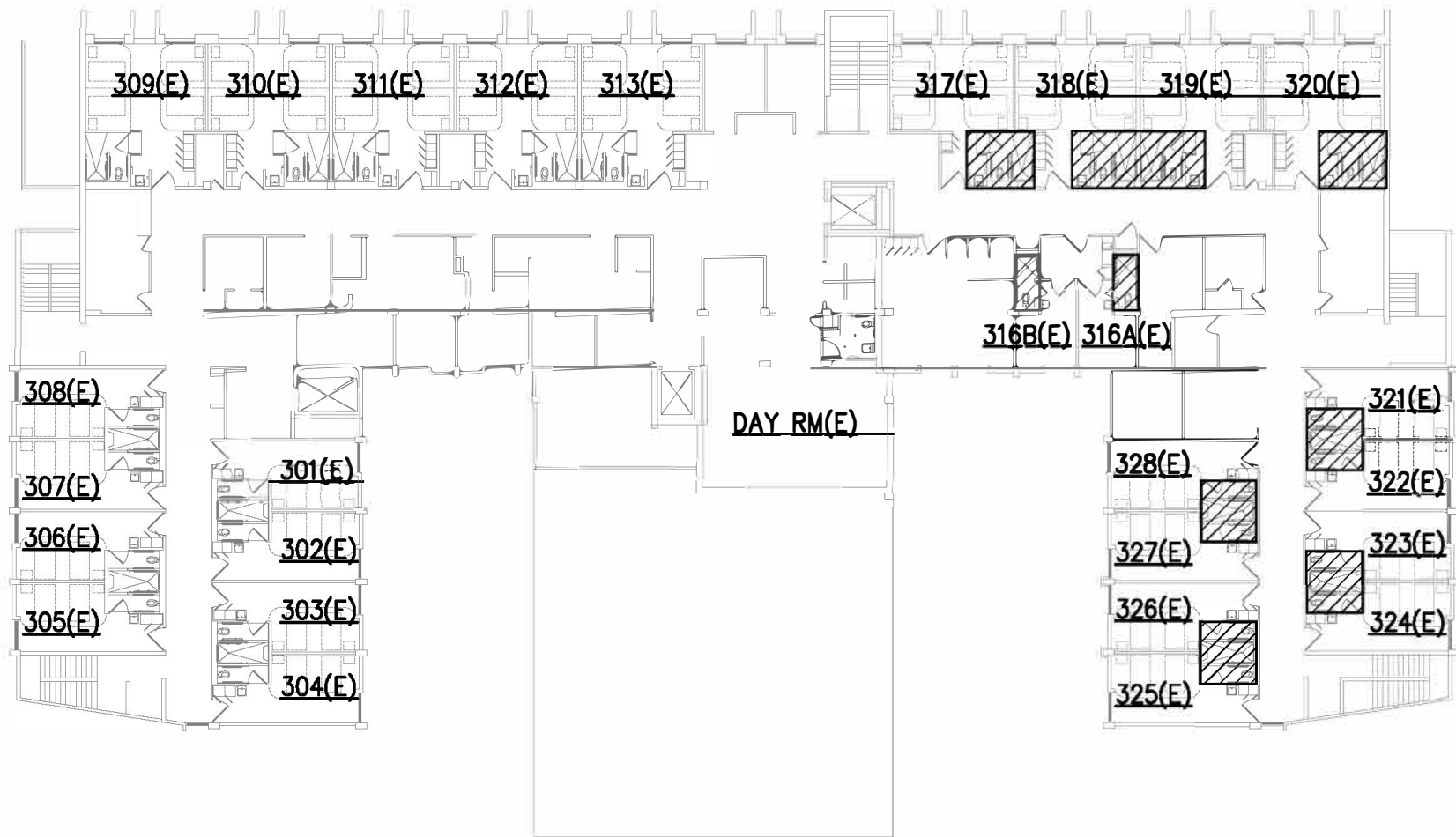
*Ryan R. Hashiro*  
SIGNATURE

NO.	REVISION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	
41	
42	
43	
44	
45	
46	
47	
48	
49	
50	
51	
52	
53	
54	
55	
56	
57	
58	
59	
60	
61	
62	
63	
64	
65	
66	
67	
68	
69	
70	
71	
72	
73	
74	
75	
76	
77	
78	
79	
80	
81	
82	
83	
84	
85	
86	
87	
88	
89	
90	
91	
92	
93	
94	
95	
96	
97	
98	
99	
100	

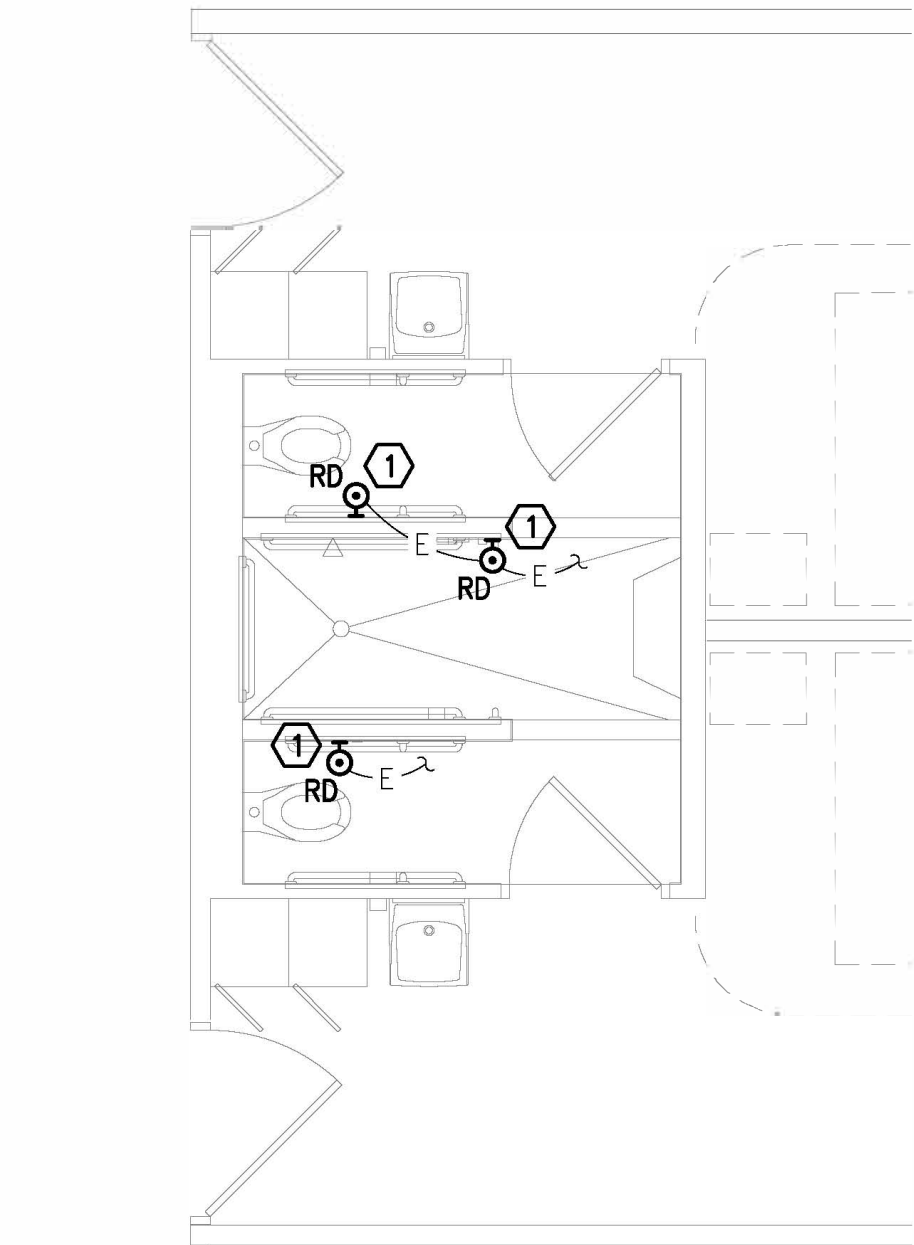
SHEET	DATE	SEPT 18, 2025
E003		
31	OF	32 SHTS



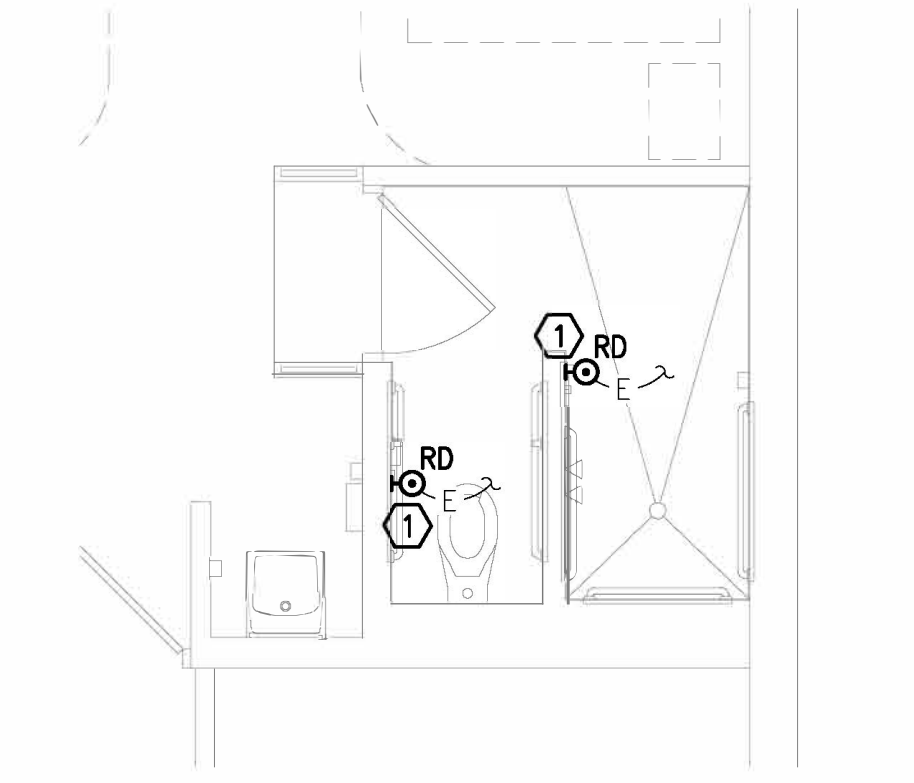




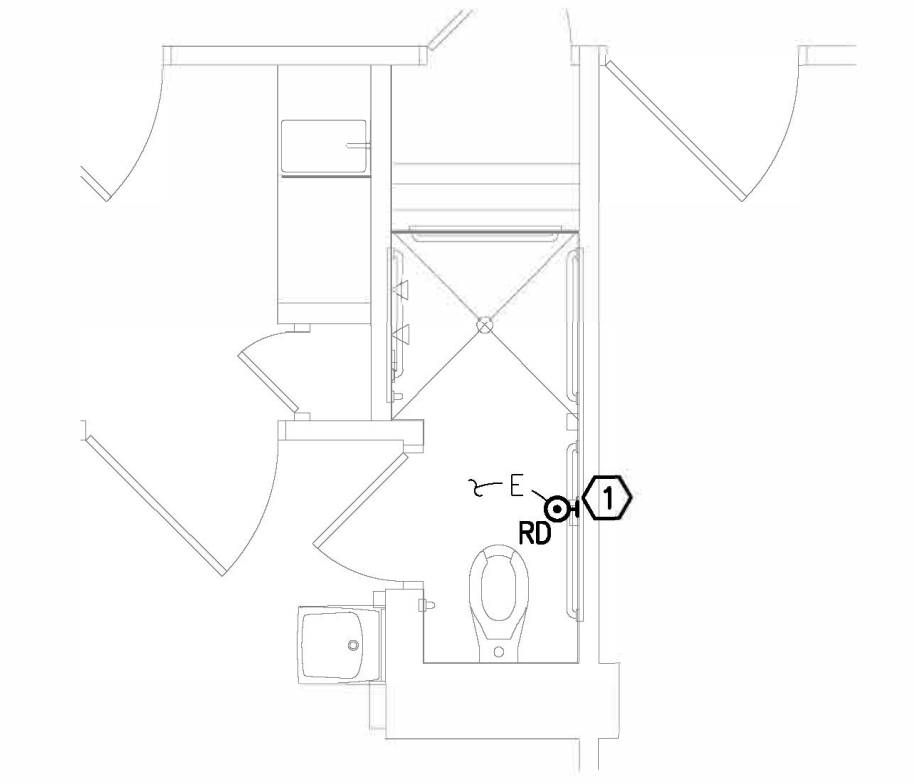
LOCATION PLAN - 3RD FLR  
NOT TO SCALE



ELECTRICAL NEW WORK PLAN  
SCALE: 1/4" = 1'-0"  
(3RD FLR PATIENT RMS 321,322,323,324,325,326,327,328)



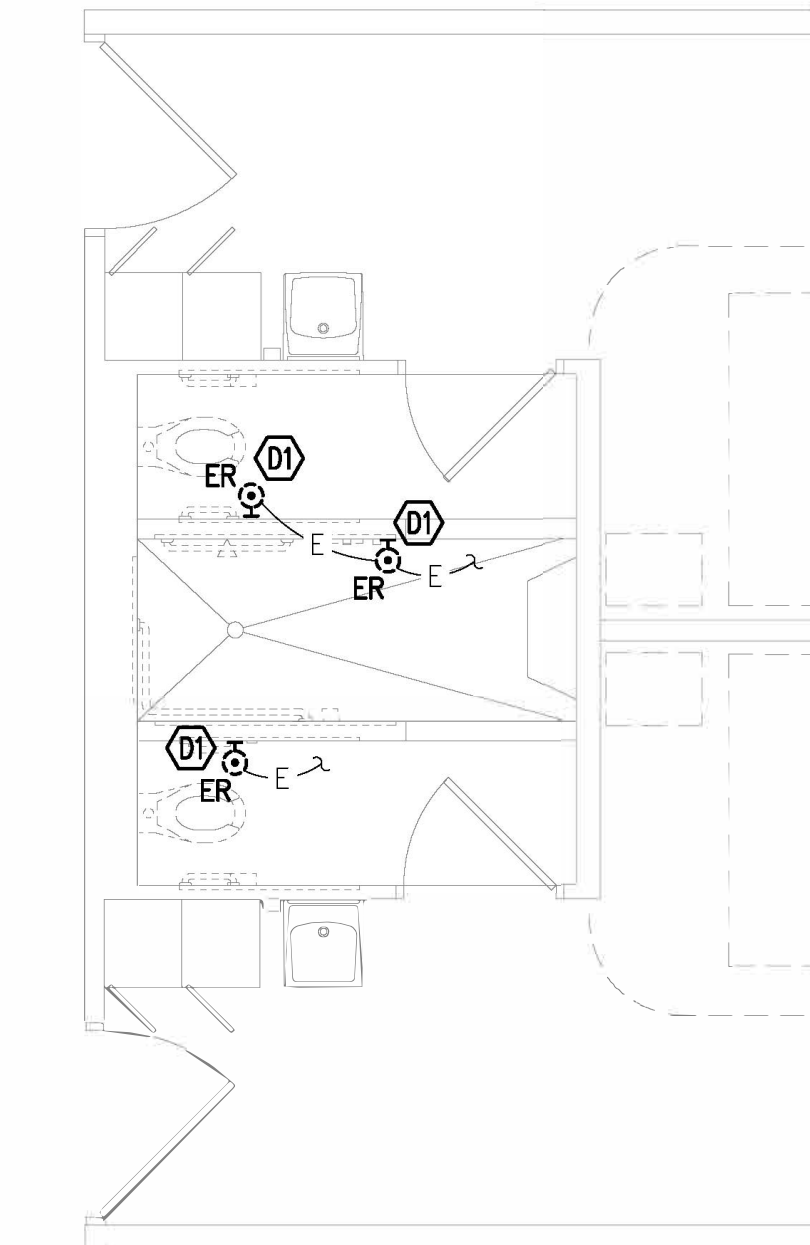
ELECTRICAL NEW WORK PLAN  
SCALE: 1/4" = 1'-0"  
(3RD FLR PATIENT RMS 317,318,319,320)



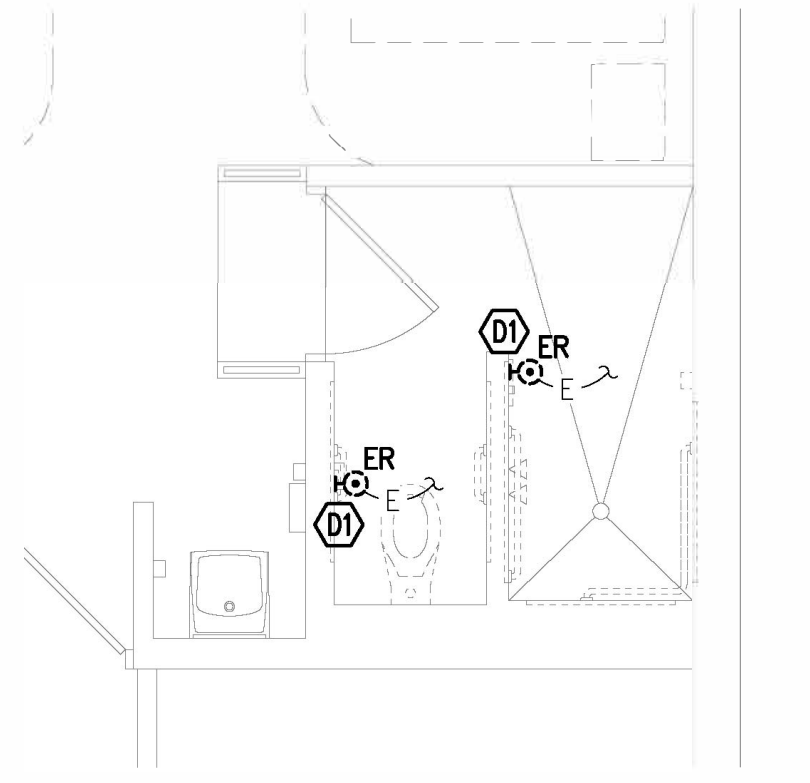
ELECTRICAL NEW WORK PLAN  
SCALE: 1/4" = 1'-0"  
(3RD FLR PATIENT RMS 316A & 316B)

ELECTRICAL NEW WORK PLAN NOTES:

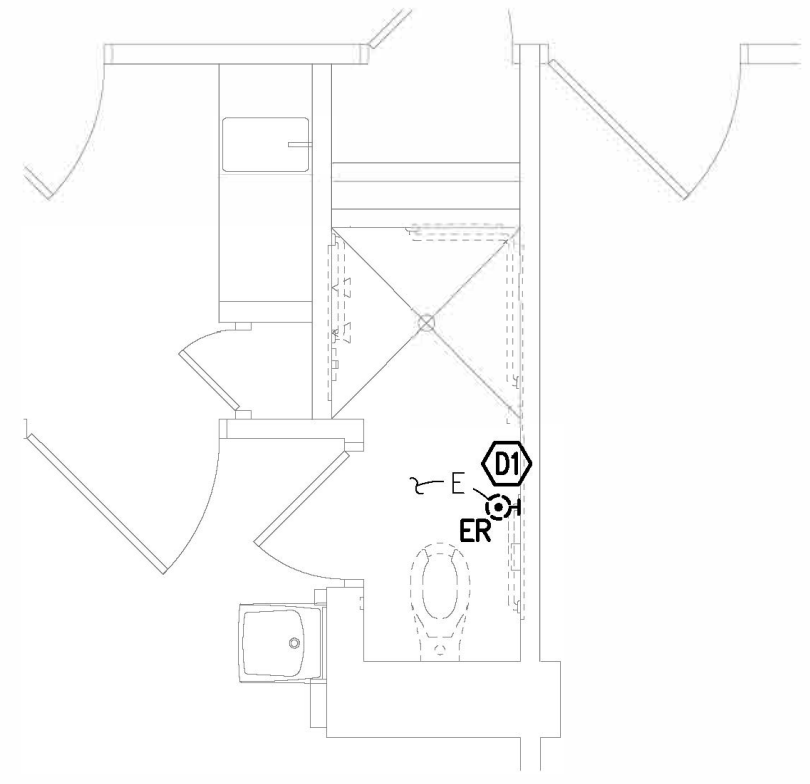
- ① REINSTALLED TOILET/SHOWER CALL STATION. MAINTAIN EXISTING CONNECTIONS.  
② TOILET RMS 316B,319,325,326,327,328 ARE MIRRORRED CONFIG FROM PLAN SHOWN.



ELECTRICAL DEMO PLAN  
SCALE: 1/4" = 1'-0"  
(3RD FLR PATIENT RMS 321,322,323,324,325,326,327,328)



ELECTRICAL DEMO PLAN  
SCALE: 1/4" = 1'-0"  
(3RD FLR PATIENT RMS 317,318,319,320)



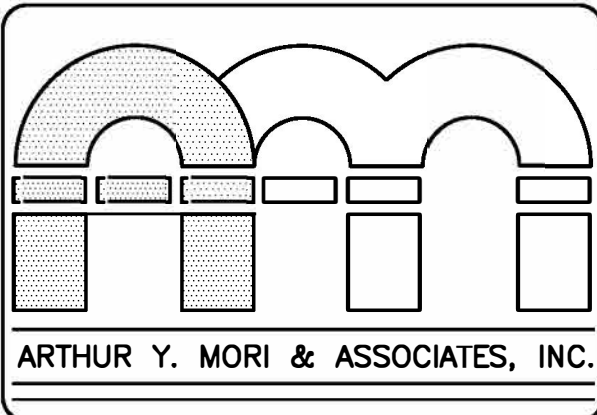
ELECTRICAL DEMO PLAN  
SCALE: 1/4" = 1'-0"  
(3RD FLR PATIENT RMS 316A & 316B)

ELECTRICAL DEMOLITION PLAN NOTES:

- ① TEMPORARILY REMOVE INDICATED TOILET/SHOWER CALL STATION TO FACILITATE RENOVATION WORK. REINSTALL UPON COMPLETION OF RENOVATION.  
② TOILET RMS 316B,319,325,326,327,328 ARE MIRRORRED CONFIG FROM PLAN SHOWN.

PALEKANA PERMITS  
THIRD PARTY CERTIFICATION

- ☐ Bldg. Code ☐ Elec. Code  
☐ Mech. Code ☐ Residential Code  
☐ Structural Code (Non-Single/2-Family Dwelling)



ARCHITECTS AIA  
1314 SOUTH KING / SUITE 955  
HONOLULU, HAWAII 96814

ADA RENOVATIONS

Maluhia - 1st, 2nd, and 3rd Floor  
1027 Hala Drive  
Honolulu, Hawaii 96817

Bid Set

SHEET TITLE  
ELECTRICAL PLANS - ADD ALT 3

BENNETT ENGINEERS INC.



LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

*Ryan R. Hashio*  
SIGNATURE

NO.	REVISION
-----	----------

△	
△	
△	
△	

JOB NO.	-
---------	---

SHEET E004	DATE SEPT 18, 2025
---------------	-----------------------

32 OF 32 SHTS

