



MALUHIA, A LONG TERM HEALTH CARE FACILITY
HAWAII HEALTH SYSTEMS CORPORATION

December 22, 2025

TO: Interested Bidders

FROM: Todd Nordstrom
HHSC Representative,
CIP Coordinator, Oahu Region

SUBJECT: Addendum No. 1
IFB No. 25L-1126 Maluhia ADA Renovations

The items listed hereinafter are hereby made a part of the contract for the above project and shall the work, taking precedence over previously issued Plans and Specifications governing the items mentioned:

Addendum No.1 responses to questions received.

1. **Will test and balancing be required for the 1st floor work on page 1,2/M007?**
Response: Yes, Test and Balancing is required.
2. **Plan A011, note 3, says to extend sloped floor. Please advise location and detail.**
Response: Note 3 has been deleted in its entirety.
3. **Are GC's required to supply a porta-potty for the project?**
Response: No porta-potty required. Maluhia will assign facility toilet room for contractor use.
4. **What are the plans for the existing shower curtain bars hanging in the double toilet bathrooms?**
Response: Existing shower curtain bars are to be removed and reinstalled.

Are GC's required to remove, save and re-hang the shower curtain bars and curtains hanging in the double toilet bathrooms?
Response: Existing shower curtain bars and curtains are to be removed, stored and reinstalled.
5. **Does the hospital have contracted fire protection company that we are required to contact for the sprinkler work?**
Response: The hospital uses Elite Fire Services, Inc. for their fire sprinkler system maintenance. They would be the preferred fire sprinkler sub-contractor to use.



MALUHIA, A LONG TERM HEALTH CARE FACILITY
HAWAII HEALTH SYSTEMS CORPORATION

Are GC's allowed to contact any contractor for that work?

Response: Yes.

6. Are the toilet seats being saved, too? Or discarded and new installed?

Response: Yes. Please save and reinstall.

7. Are the existing lavatory sinks outside the shower rooms to remain in place? Will there be any work to them?

Response: Yes, the existing lavatory sinks outside the shower rooms are to remain. There is no work to be performed on these lavatory sinks.

8. Will GC's be able to use the hospital rooms for holding the saved bathroom fixtures & other materials to be re-used? Such as toilets, faucets, shower controls, etc., as well as other materials?

Response: Yes.

9. Will there be any additional work to the existing bathroom doors to remain?

a. New hardware/lever door handles?

b. New kick plates?

c. Are painters to paint over the kick plates?

Response: a. Existing bored knob latchsets are to be removed and replaced with new bored latchsets with levers. See Section 8700 – Finish Hardware, HW-8.

b. Existing kick plates are to remain.

c. Painters are to mask and paint around kick plates.

10. Is a Bid Bond required for this project?

Response: Yes, Bid Bond is required.

11. I found an additional bid form proposal under Spec Section 01900 – Form of Proposal. Are we required to complete and submit this form with the other bid form, too?

Response: Delete Section 01900 – Form of Proposal in its entirety.

12. What is the anticipated construction start date of this project?

Response: Construction start date is March 16, 2026.

13. The contract period of 150 consecutive calendar days is not realistic for a project of this scope and size. Will the contract period be extended?

Response: Contract period to extend to 365 days.



MALUHIA, A LONG TERM HEALTH CARE FACILITY
HAWAII HEALTH SYSTEMS CORPORATION

14. **Will infection control barriers/measures be required. If so, what ICRA Class level would be needed?**

Response: Yes, infection control is required for project. Project is ICRA Class IV. See attached.

15. **How many rooms will the contractor be allowed work in at any one time?**

Response: Work will be by wing as indicated on the drawings. For example, base bid area of 2nd floor Makai, all dashed area can be worked on at one time.

16. **Should existing doors and frames be repainted in, and out?**

Response: Yes, existing doors and frames are to be painted inside and out.

17. **For rooms where there is no ceiling work, should the ceilings be repainted?**

Response: No, existing ceilings with no work are not to be repainted.

18. **Please provide a detail for the solid surface wainscot at outside corners where the existing ceramic tile has a large bullnose radius?**

Response: Please refer to Detail 8/A015.

19. **Where the walls are cut open for plumbing or backing, will ceramic tile be required to be reset to provide backing for the solid surface wainscot?**

Response: Contractor to verify with solid surface subcontractor on need to reset ceramic wall tile where removed for adhesion.

20. **How long of a water outage will be allowed to replace supply stops and valves. Can the outages be performed during normal working hours?**

Response: Water outages for supply stop/valve replacement are limited to 2 hours maximum per incident/stack, during hours (8:00AM-3:30PM, M-F), with 72-hour notice to HHSC Representative. If over 2 hours or multi-stack: Contractor provides accommodations, i.e. flushing water, bottled water, coordinated with HHSC Representative.

21. **Please provide plumbing as-builts. Are there isolation valves for each toilet/bathroom, or floors/wings?**

Response: There are no plumbing as-built drawings available. There are isolation valves per stack.

If there are no isolation valves for each toilet/bathroom, should the contractor install new ones to minimize impacts from future outages?

Response: There are existing isolation valves.

22. **Please confirm that a change order would be provided to replace flush valves that leak after being reinstalled due to dried up O-rings, gaskets, or other problems?**

Response: Yes, if determined that issue resolution is outside the scope of project work.



MALUHIA, A LONG TERM HEALTH CARE FACILITY
HAWAII HEALTH SYSTEMS CORPORATION

23. Please provide model number of existing shower faucet or extension kit that is to be Utilized?

Response: Symmons Safetymix. See attached.

Addendum No.1 revised Drawings.

Sheets A001, A002, A005, A006, A007, A008, A010, A011, A012, A013, A014 & A015.
Replace in their entirety with the attached.

Addendum No.1 revised Specifications.

Invitation for Bids

Section 1.14 Working Hours. Revise as follows: "Regular working hours for this project shall take place between the hours of 8:00 AM to 3:30 PM Monday through Friday, excluding State Holidays, unless otherwise noted or restricted.

Table of Contents. Division 1 – General Requirements

Section 01900 - Form of Proposal deleted in its entirety.

Section 01100 – Summary

Part 1 – General, Section 1.01(A). Revised in its entirety.

Section 01900 - Form of Proposal

Deleted in its entirety.

Section 08700 – Finish Hardware

Part 1 – General, Section 1.07 Hardware Schedule.

Addendum No.1 approved Substitution Request.

SSLH Lighting and Controls Request for Substitution for light fixtures Type 1 & 1A.

Substitution request is approved.

END OF ADDENDUM NO. 1



MALUHIA, A LONG TERM HEALTH CARE FACILITY HAWAII HEALTH SYSTEMS CORPORATION



Infection Control Risk Assessment 2.0 Matrix of Precautions for Construction, Renovation and Operations

Table 5 - Minimum Required Infection Control Precautions by Class | Before and During Work Activity

Class of Precautions	Mitigation Activities (Performed Before and During Work Activity)
Class I	1. Perform noninvasive work activity as to not block or interrupt patient care. 2. Perform noninvasive work activities in areas that are not directly occupied with patients. 3. Perform noninvasive work activity in a manner that does not create dust. 4. Immediately replace any displaced ceiling tile before leaving the area and/or at end of noninvasive work activity.
Class II	1. Perform only limited dust work and/or activities designed for basic facilities and engineering work. 2. Perform limited dust and invasive work following standing precautions procedures approved by the organization. 3. This Class of Precautions must never be used for construction or renovation activities.
Class III	1. Provide active means to prevent airborne dust dispersion into the occupied areas. 2. Means for controlling minimal dust dispersion may include hand-held HEPA vacuum devices, polyethylene plastic containment, or isolation of work area by closing room door. 3. Remove or isolate return air diffusers to avoid dust from entering the HVAC system. 4. Remove or isolate the supply air diffusers to avoid positive pressurization of the space. 5. If work area is contained, then it must be neutrally to negatively pressurized at all times. 6. Seal all doors with tape that will not leave residue. 7. Contain all trash and debris in the work area. 8. Nonporous/smooth and cleanable containers (with a hard lid) must be used to transport trash and debris from the construction areas. These containers must be damp-wiped cleaned and free of visible dust/debris before leaving the contained work area. 9. Install an adhesive (dust collection) mat at entrance of contained work area based on facility policy. Adhesive mats must be changed routinely and when visibly soiled. 10. Maintain clean surroundings when area is not contained by damp mopping or HEPA vacuuming surfaces.
Class IV	1. Construct and complete critical barriers meeting NFPA 241 requirements including: Barriers must extend to the ceiling or, if ceiling tile is removed, to the deck above, and all penetrations through the barrier shall meet the appropriate fire rating requirements. 2. All (plastic or hard) barrier construction activities must be completed in a manner that prevents dust release. Plastic barriers must be effectively affixed to ground and ceiling and secure from movement or damage. Apply tape that will not leave a residue to seal gaps between barriers, ceiling or floor. 3. Seal all penetrations in containment barriers, including floors and ceiling, using approved materials (UL schedule firestop if applicable for barrier type). 4. Containment units or environmental containment units (ECUs) approved for Class IV precautions in small areas totally contained by the unit and that has HEPA-filtered exhaust air. 5. Remove or isolate return air diffusers to avoid dust entering the HVAC system. 6. Remove or isolate the supply air diffusers to avoid positive pressurization of the space. 7. Negative airflow pattern must be maintained from the entry point to the anteroom and into the construction area. The airflow must cascade from outside to inside the construction area. The entire construction area must remain negatively pressurized. 8. Maintain negative pressurization of the entire workspace by use of HEPA exhaust air systems directed outdoors. Exhaust discharged directly to the outdoors that is 25 feet or greater from entrances, air intakes and windows does not require HEPA-filtered air. 9. If exhaust is directed indoors, then the system must be HEPA filtered. Prior to start of work, HEPA filtration must be verified by particulate measurement as no less than 99.97% efficiency and must not alter or change airflow/pressure relationships in other areas. 10. Exhaust into shared or recirculating HVAC systems, or other shared exhaust systems (e.g., bathroom exhaust) is not acceptable. 11. Install device on exterior of work containment to continually monitor negative pressurization. To assure proper pressure is continuously maintained, it is recommended that the device(s) have a visual pressure indicator. 12. Contain all trash and debris in the work area.



MALUHIA, A LONG TERM HEALTH CARE FACILITY HAWAII HEALTH SYSTEMS CORPORATION



Infection Control Risk Assessment 2.0 Matrix of Precautions for Construction, Renovation and Operations

	13. Nonporous/smooth and cleanable containers (with a hard lid) must be used to transport trash and debris from the construction areas. These containers must be damp-wiped cleaned and free of visible dust/debris before leaving the contained work area. 14. Worker clothing must be clean and free of visible dust before leaving the work area. HEPA vacuuming of clothing or use of cover suits is acceptable. 15. Workers must wear shoe covers prior to entry into the work area. Shoe covers must be changed prior to exiting the anteroom to the occupied space (non-work area). Damaged shoe covers must be immediately changed. 16. Install an adhesive (dust collection) mat at entrance of contained work area based on facility policy. Adhesive mats must be changed routinely and when visibly soiled. 17. Consider collection of particulate data during work to monitor and ensure that contaminants do not enter the occupied spaces. Routine collection of particulate samples may be used to verify HEPA filtration efficiencies.
Class V	1. Construct and complete critical barriers meeting NFPA 241 requirements including: Barriers must extend to the ceiling, or if ceiling tile is removed, to the deck above, and all penetrations through the barrier shall meet the appropriate fire rating requirements. 2. All (plastic or hard) barrier construction activities must be completed in a manner that prevents dust release. Plastic barriers must be effectively affixed to ground and ceiling and secure from movement or damage. Apply tape that will not leave a residue to seal gaps between barriers, ceiling or floor. 3. Seal all penetrations in containment barriers, anteroom barriers, including floors and ceiling using approved materials (UL schedule firestop if applicable for barrier type). 4. Construct anteroom large enough for equipment staging, cart cleaning, workers. The anteroom must be constructed adjacent to entrance of construction work area. 5. Personnel will be required to wear disposable coveralls at all times during Class V work activities. Disposable coveralls must be removed before leaving the anteroom. 6. Remove or isolate return air diffusers to avoid dust entering the HVAC system. 7. Remove or isolate the supply air diffusers to avoid positive pressurization of the space. 8. Negative airflow pattern must be maintained from the entry point to the anteroom and into the construction area. The airflow must cascade from outside to inside the construction area. The entire construction area must remain negatively pressurized. 9. Maintain negative pressurization of the entire workspace using HEPA exhaust air systems directed outdoors. Exhaust discharged directly to the outdoors that is 25 feet or greater from entrances, air intakes and windows does not require HEPA-filtered air. 10. If exhaust is directed indoors, then the system must be HEPA filtered. Prior to start of work, HEPA filtration must be verified by particulate measurement as no less than 99.97% efficiency and must not alter or change airflow/pressure relationships in other areas. 11. Exhaust into shared or recirculating HVAC systems, or other shared exhaust systems (bathroom exhaust) is <u>not acceptable</u>. 12. Install device on exterior of work containment to continually monitor negative pressurization. To assure proper pressure is continuously maintained, it is recommended that the device(s) have a visual pressure indicator. 13. Contain all trash and debris in the work area. 14. Nonporous/smooth and cleanable containers (with a hard lid) must be used to transport trash and debris from the construction areas. These containers must be damp-wiped cleaned and free of visible dust/debris before leaving the contained work area. 15. Worker clothing must be clean and free of visible dust before leaving the work area anteroom. 16. Workers must wear shoe covers prior to entry into the work area. Shoe covers must be changed prior to exiting the anteroom to the occupied space (non-work area). Damaged shoe covers must be immediately changed. 17. Install an adhesive (dust collection) mat at entrance of contained work area based on facility policy. Adhesive mats must be changed routinely and when visibly soiled. 18. Consider collection of particulate data during work to monitor and ensure that contaminants do not enter the occupied spaces. Routine collection of particulate samples may be used to verify HEPA filtration efficiencies.



MALUHIA, A LONG TERM HEALTH CARE FACILITY HAWAII HEALTH SYSTEMS CORPORATION



SYMMONS® Safetymix®

1-215-X
Tub/Shower System
Specification Submittal

Location:



Model Numbers	Feature Highlights
☐ 1-215-X Tub and Shower System with Symmons Safetymix pressure balancing mixing valve	• Symmons tub and shower system with a lever handle • Symmons Safetymix pressure balancing mixing valve with adjustable stop screw to limit handle turn • Integral service stops - allows water shut-off at valve for service • Diverter tub spout with twin ell and bushing adapter • Single mode, super showerhead #4-231 with arm and flange • Showerhead has adjustable flood or mist spray • Standard flow rate 2.0 gpm (7.6 L/min) • Polished chrome finish
Options/Modifications	
☐ 1.5 1.5 gpm (5.7 L/min) flow restrictor	
☐ TRM Trim only, valve body ordered separately	
☐ X Integral stops - allows water shut off at valve for service. Recommended for use on all multiple commercial installations	
☐ X-CHKS Integral check stops - for use in installations where a positive shut-off device is used downstream of mixing valve	
Note: Append appropriate -suffix to model number.	
Compliance	Warranty
- ASME A112.18.1/CSA B125.1 	Limited Lifetime - for residential installations. 10 Years - for commercial/industrial installations. Refer to www.symmons.com/warranty for complete warranty information. 

Architectural/Engineering Specification

Symmons Safetymix Tub and Shower System _____ Includes Symmons tub and shower system with a lever handle, Symmons Safetymix pressure balancing mixing valve with adjustable stop screw to limit handle turn, Integral service stops - allows water shut-off at valve for service, Diverter tub spout with twin ell and bushing adapter, Single mode, super showerhead #4-231 with arm and flange, Showerhead has adjustable flood or mist spray, Standard flow rate 2.0 gpm (7.6 L/min), Polished chrome finish 10 Year Commercial Warranty. ASME A112.18.1/CSA B125.1 compliant. Available options: "1.5 - 1.5 gpm (5.7 L/min) flow restrictor", "TRM - Trim only, valve body ordered separately", "X - Integral stops - allows water shut off at valve for service. Recommended for use on all multiple commercial installations", "X-CHKS - Integral check stops - for use in installations where a positive shut-off device is used downstream of mixing valve".



MALUHIA, A LONG TERM HEALTH CARE FACILITY HAWAII HEALTH SYSTEMS CORPORATION

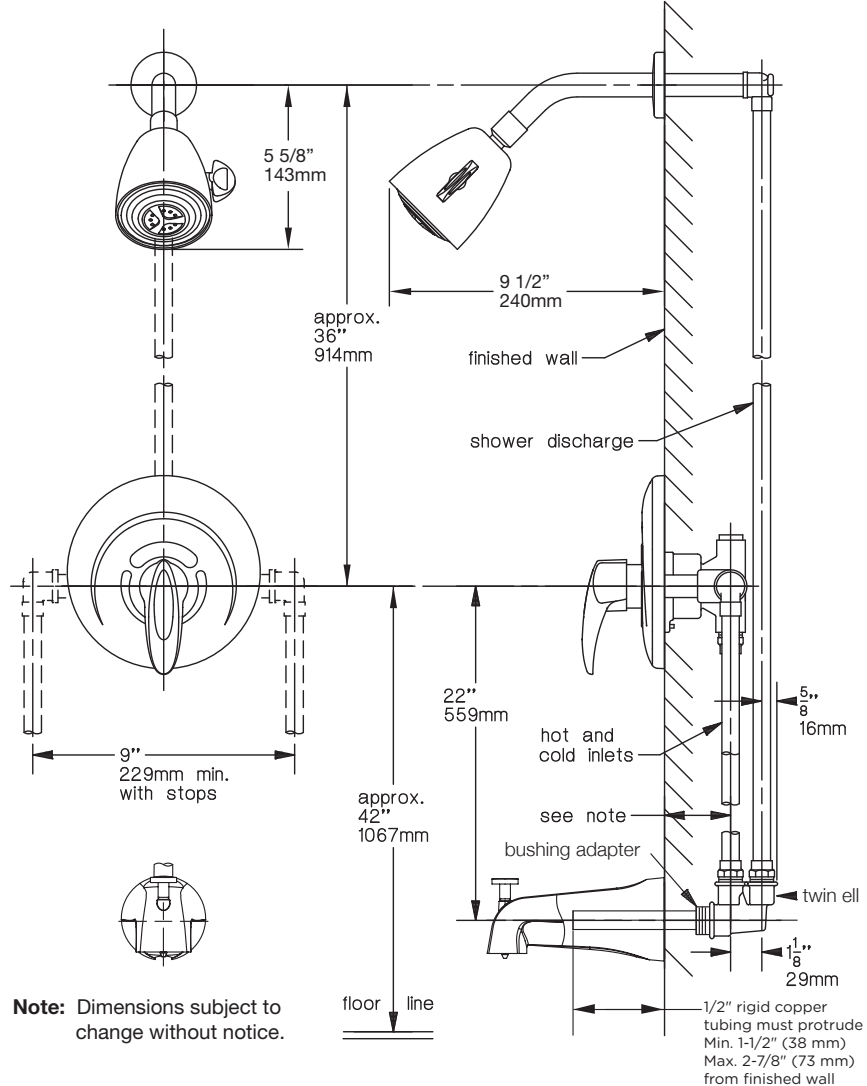


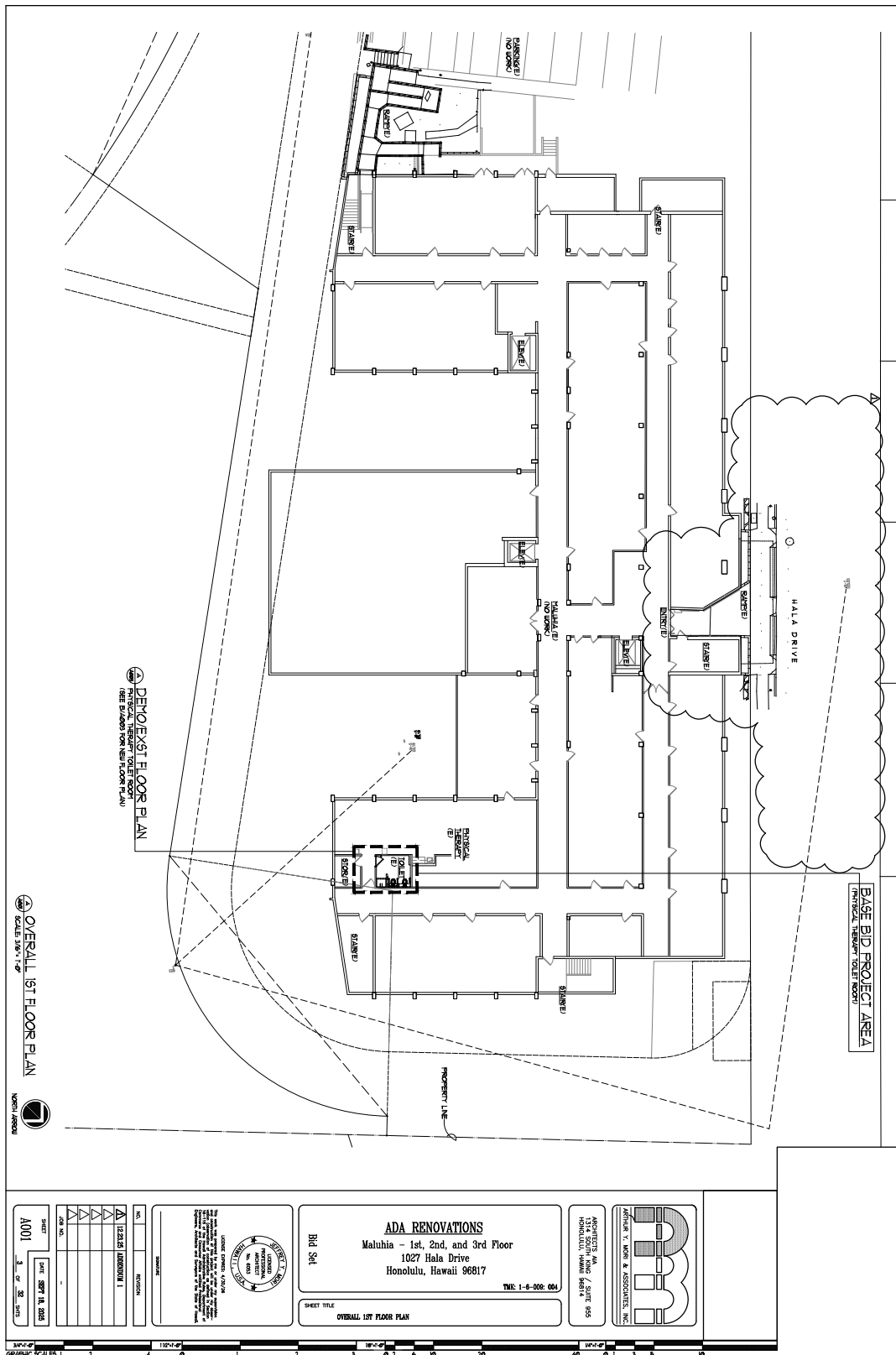
SYMMONS® Safetymix®

1-215-X

Dimensions

Dimensions Safetymix Tub and Shower System, 1-215-X







MALUHIA, A LONG TERM HEALTH CARE FACILITY HAWAII HEALTH SYSTEMS CORPORATION

WORK LEGEND	
	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

DEMOLITION WORK NOTES	
STATION	DESCRIPTION
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	
41	
42	
43	
44	
45	
46	
47	
48	
49	
50	
51	
52	
53	
54	
55	
56	
57	
58	
59	
60	
61	
62	
63	
64	
65	
66	
67	
68	
69	
70	
71	
72	
73	
74	
75	
76	
77	
78	
79	
80	
81	
82	
83	
84	
85	
86	
87	
88	
89	
90	
91	
92	
93	
94	
95	
96	
97	
98	
99	
100	

NEW WORK NOTES	
STATION	DESCRIPTION
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	
41	
42	
43	
44	
45	
46	
47	
48	
49	
50	
51	
52	
53	
54	
55	
56	
57	
58	
59	
60	
61	
62	
63	
64	
65	
66	
67	
68	
69	
70	
71	
72	
73	
74	
75	
76	
77	
78	
79	
80	
81	
82	
83	
84	
85	
86	
87	
88	
89	
90	
91	
92	
93	
94	
95	
96	
97	
98	
99	
100	

GRAPHIC SCALES	
1" = 10'-0"	1" = 20'-0"

ADA RENOVATIONS	
Maluhia - 1st, 2nd, and 3rd Floor	
1027 Hala Drive	
Honolulu, Hawaii 96817	
TEL: 1-8-000-001	

SHEET TITLE	
ENTRY RAMP EXIST/DEM AND NEW FLOOR PLANS	

REGISTERED ARCHITECT	
WILLIAM T. MOSE & ASSOCIATES, INC.	
1014 SOUTH KING / SUITE 905	
HONOLULU, HAWAII 96814	

SHEET	
A002	
DATE: 08/14/2003	
BY: [Signature]	

REVISIONS	
NO.	DESCRIPTION
1	10/25/03 EXISTING 1



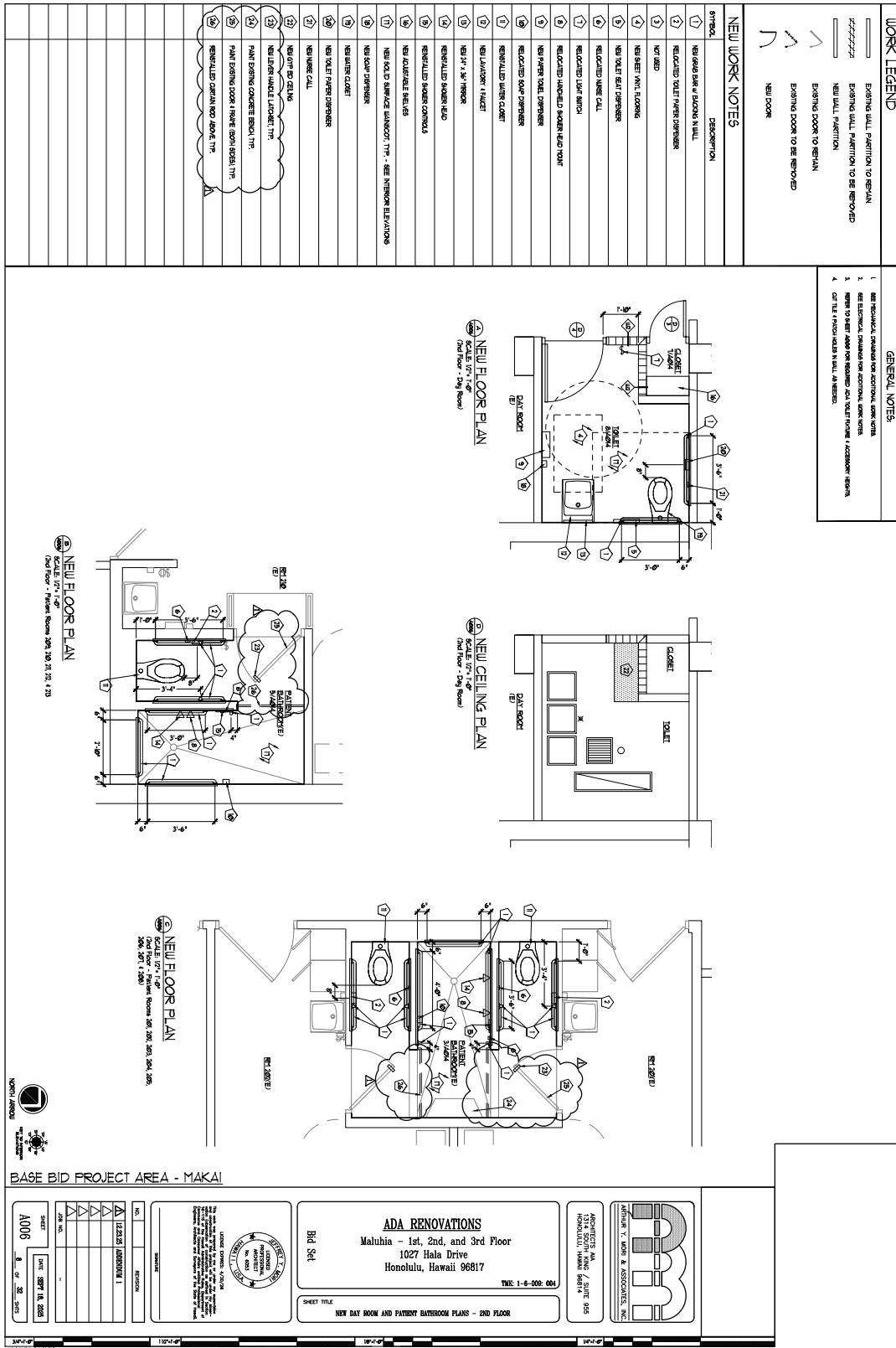
1"=100'- 1"=1000'

GRAPHIC SCALES 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50



MALUHIA, A LONG TERM HEALTH CARE FACILITY

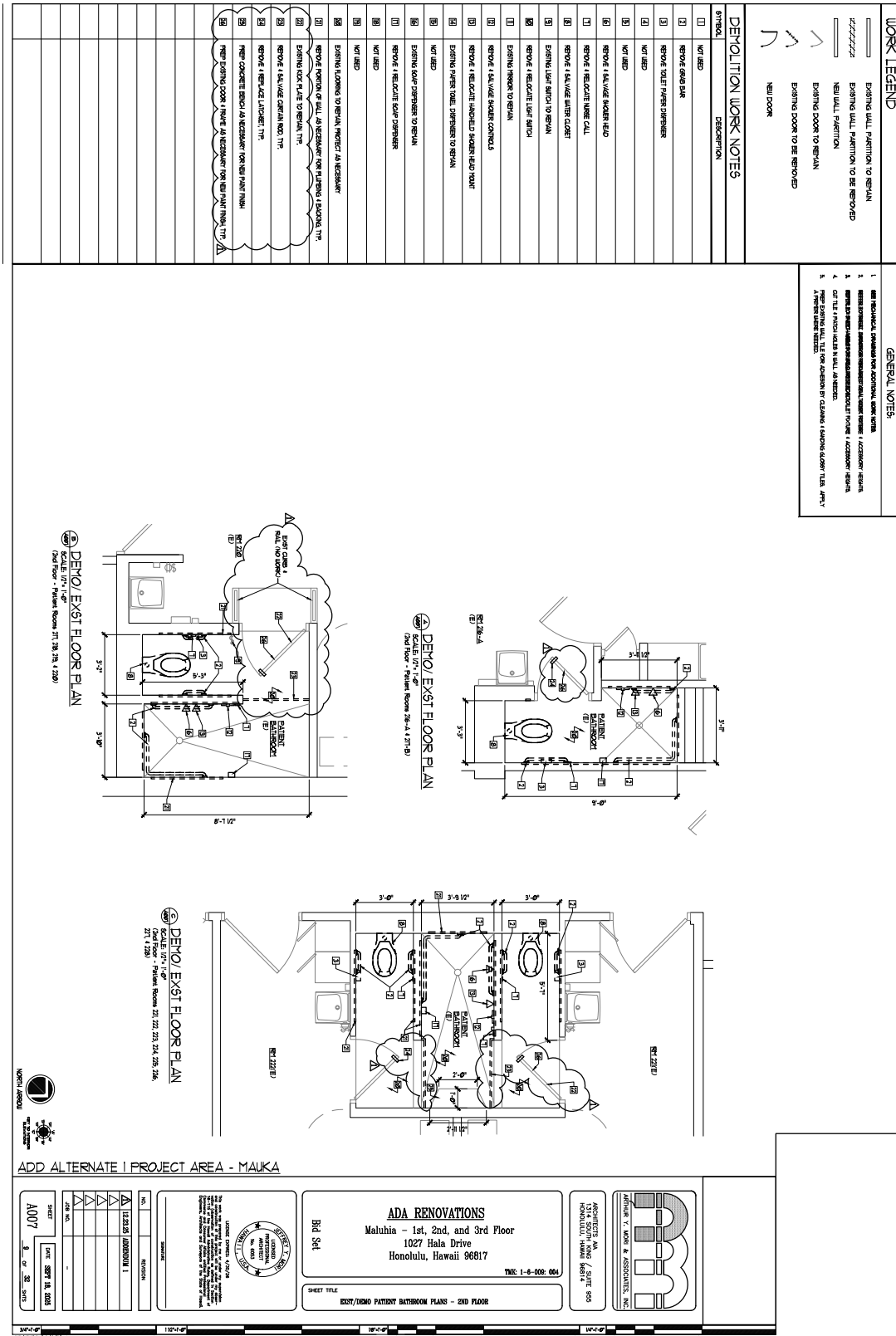
HAWAII HEALTH SYSTEMS CORPORATION





MALUHIA, A LONG TERM HEALTH CARE FACILITY

HAWAII HEALTH SYSTEMS CORPORATION



ADD ALTERNATE I PROJECT AREA - MAUKA

ADA RENOVATIONS
Maluhia - 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817
TEL: 1-8-000-001

BID SET
SHEET TITLE
EXIST/EXIST PATIENT BATHROOM PLANS - 2ND FLOOR

WILLIAMS T. MOSE & ASSOCIATES, INC.
REGISTERED ARCHITECT
1014 SOUTH KING STREET, 9TH FLOOR
HONOLULU, HAWAII 96814

PROJECT
A007
DATE: 08/11/2015
BY: [Signature]

GRAPHIC SCALES
1" = 1'-0"
1/2" = 1'-0"
1/4" = 1'-0"
1/8" = 1'-0"
1/16" = 1'-0"

[illegible]



GRAPHIC SCALES



3/4"=1'-0" 1/8"=1'-0" 1/4"=1'-0"

GRAPHIC SCALES 2 4 0 2 3 0 2 6 10 20 40 0 3 5 10

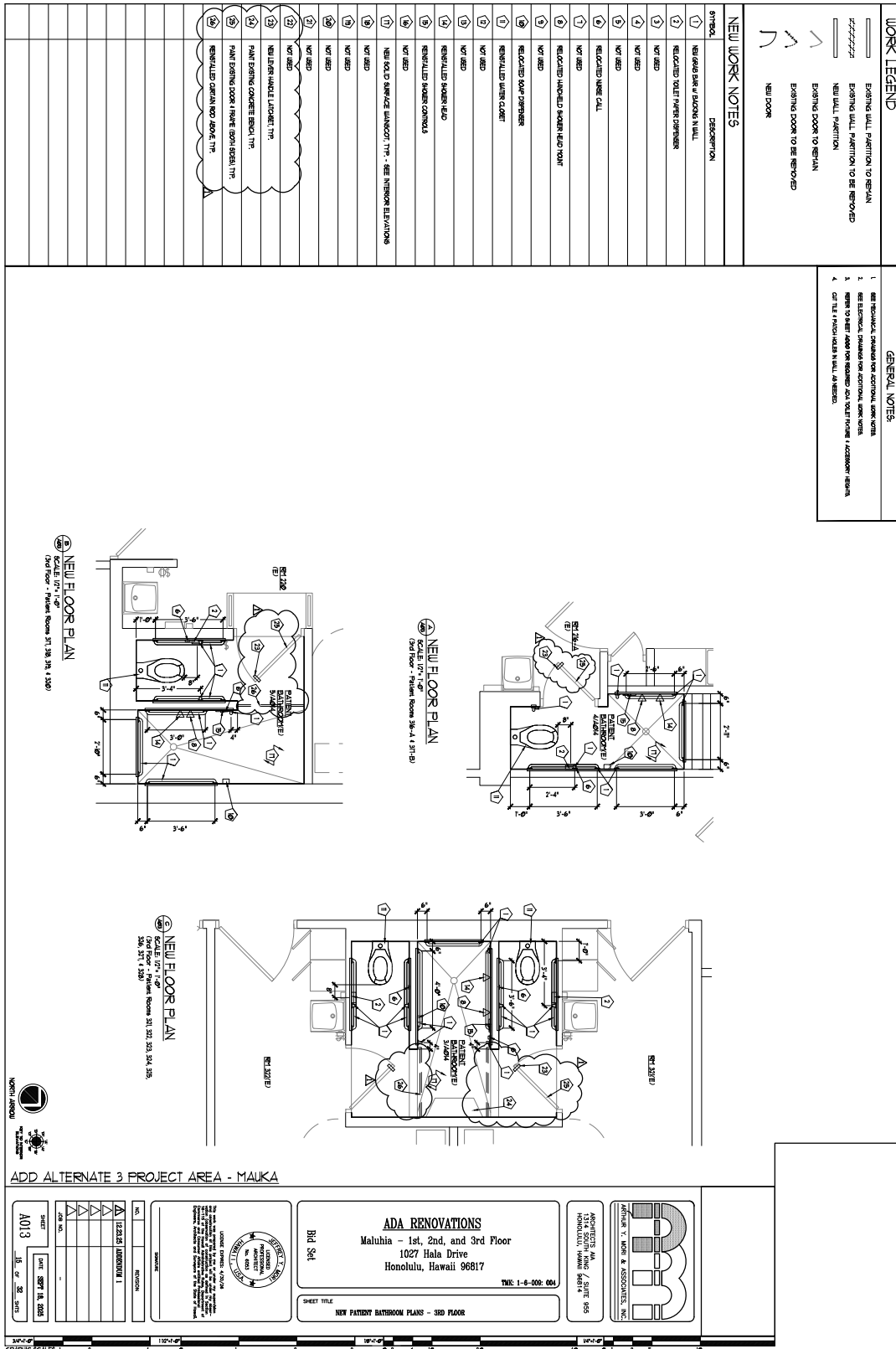


GRAPHIC SCALES



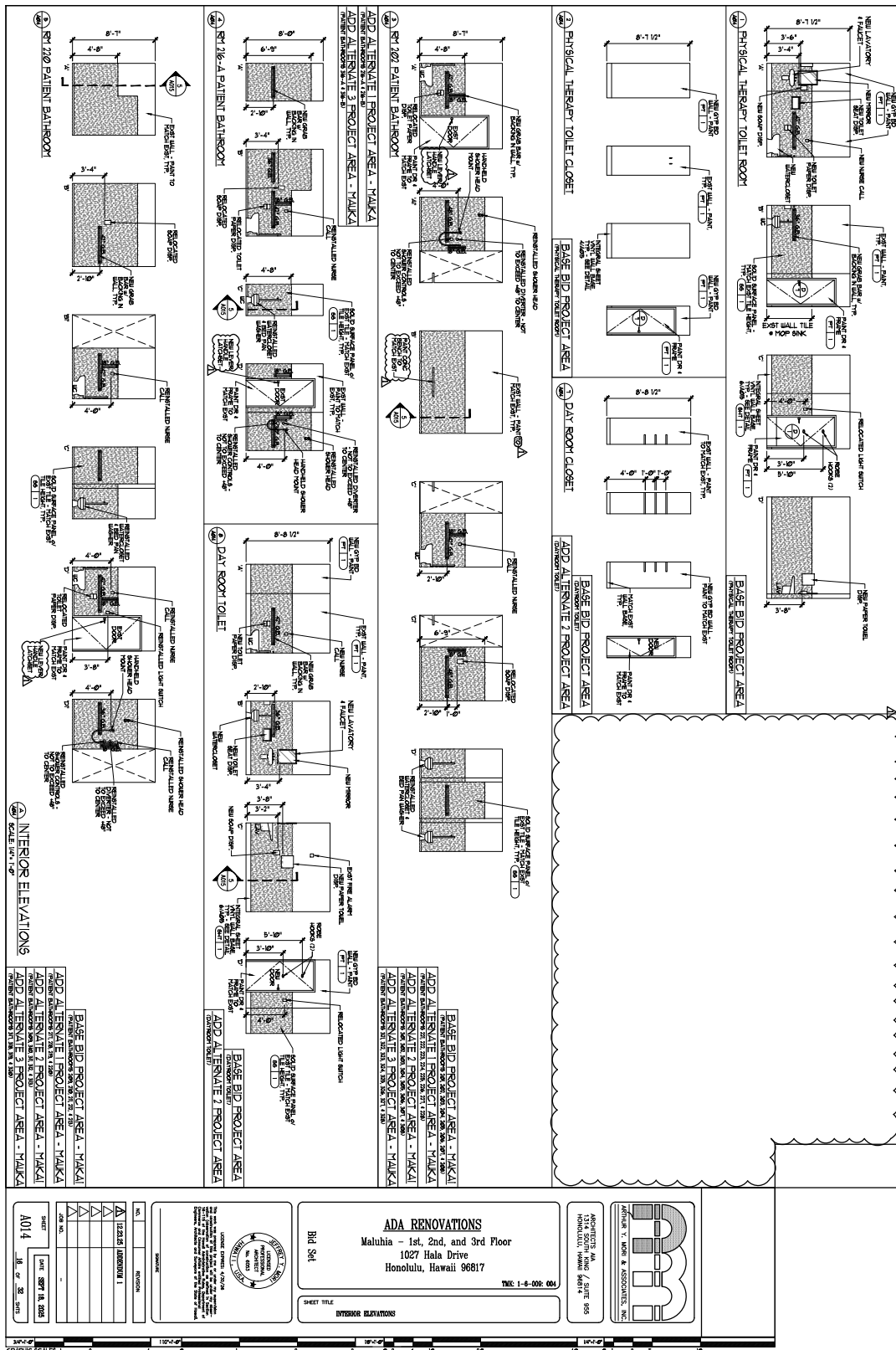
MALUHIA, A LONG TERM HEALTH CARE FACILITY

HAWAII HEALTH SYSTEMS CORPORATION



ADD ALTERNATE 3 PROJECT AREA - MAUKA

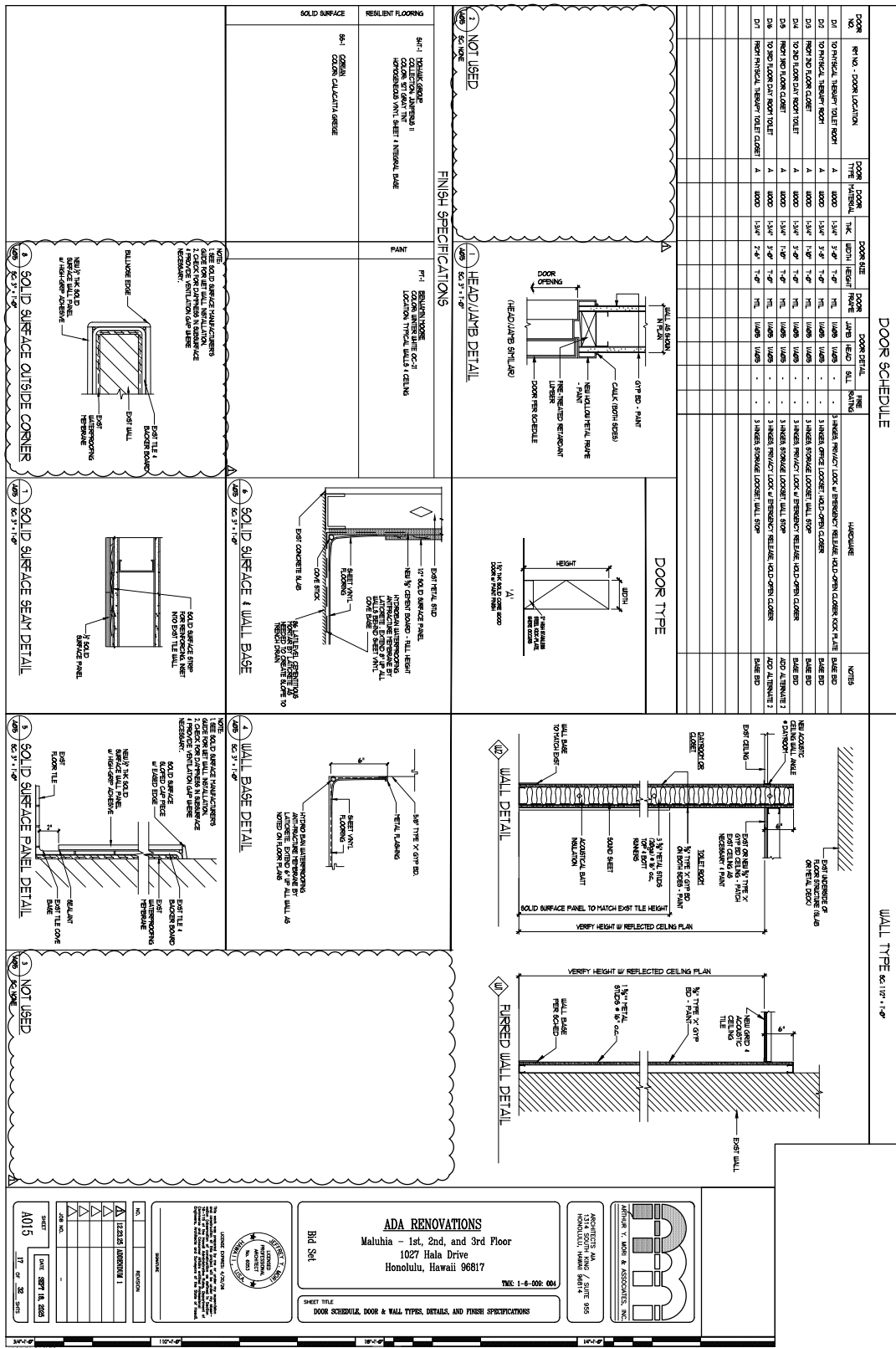
			ADA RENOVATIONS Maluhia - 1st, 2nd, and 3rd Floor 1027 Hala Drive Honolulu, Hawaii 96817 TEL: 1-8-000-001	
A013	10/1/2018	10/1/2018	10/1/2018	10/1/2018





MALUHIA, A LONG TERM HEALTH CARE FACILITY

HAWAII HEALTH SYSTEMS CORPORATION





MALUHIA, A LONG TERM HEALTH CARE FACILITY

HAWAII HEALTH SYSTEMS CORPORATION

TABLE OF CONTENTS

TABLE OF CONTENTS	1 – 2
<u>DIVISION 0 – BIDDING AND CONTRACT REQUIREMENTS</u>	
SECTION 00210 INSTRUCTIONS TO BIDDERS	1 – 9
SECTION 00800 SPECIAL PROVISIONS	1 – 4
<u>DIVISION 1 - GENERAL REQUIREMENTS</u>	
SECTION 01019 GENERAL PROJECT REQUIREMENTS	1 – 11
SECTION 01100 SUMMARY	1 – 5
SECTION 01140 WORK RESTRICTIONS	1 ONLY
SECTION 01300 SUBMITTALS	1 – 4
SECTION 01310 PROJECT COORDINATION	1 – 3
SECTION 01577 POLLUTION CONTROL	1 – 3
SECTION 01715 EXISTING CONDITIONS	1 – 2
ATTACHMENT – Limited Hazardous Material Survey Report for Asbestos dated March 21, 2023	1 ONLY
<u>DIVISION 2 - SITE WORK</u>	
SECTION 02055 SELECTIVE DEMOLITION AND REMOVAL	1 - 3
SECTION 02056 PATCHING	1 ONLY
<u>DIVISION 3 – CONCRETE (NOT USED)</u>	
<u>DIVISION 4 – MASONRY (NOT USED)</u>	
<u>DIVISION 5 – METAL (NOT USED)</u>	
<u>DIVISION 6 - WOOD AND PLASTICS</u>	
SECTION 06100 ROUGH CARPENTRY	1 - 5
SECTION 06200 FINISH CARPENTRY	1 - 2
SECTION 06300 PRESERVATIVE TREATED LUMBER	1 - 2
SECTION 06650 SOLID SURFACING	1 - 4
<u>DIVISION 7 - THERMAL AND MOISTURE PROTECTION</u>	
SECTION 07130 WATERPROOF MEMBRANE	1 ONLY
SECTION 07900 SEALANT AND CAULKING	1 - 6
<u>DIVISION 8 – DOORS AND WINDOWS</u>	
SECTION 08700 FINISH HARDWARE	1 - 3
SECTION 08110 METAL FRAMES	1 - 2
SECTION 08700 FINISH HARDWARE	1 - 3
<u>DIVISION 9 – FINISHES</u>	
SECTION 09250 GYPSUM WALLBOARD	1 - 3
SECTION 09510 ACOUSTICAL TILE	1 - 5
SECTION 09625 SHEET VINYL FLOORING	1 - 3
SECTION 09901 PAINTING	1 - 9
<u>DIVISION 10 – SPECIALTIES</u>	



MALUHIA, A LONG TERM HEALTH CARE FACILITY HAWAII HEALTH SYSTEMS CORPORATION

SECTION 01100 – SUMMARY

PART 1 - GENERAL

1.01 WORK COVERED BY CONTRACT DOCUMENTS

- A. ***Project Identification: The work shall generally consist of Base Bid: Renovation of the first floor therapy room toilet, second floor makai patient rooms and second & third floors dayroom toilets. Additive Alternate 1: Second floor mauka patient rooms, Additive Alternate 2: Third floor makai patient rooms and Additive Alternate 3: Third floor mauka patient rooms.***

1. Project Location: Maluhia, 1027 Hala Drive, Honolulu, Hawaii.

- B. Perform operations and furnish equipment, tools, materials, related items and labor necessary to execute, complete and deliver the Work as required by the Contract Documents.
- C. The Division and Sections into which these specifications are divided shall not be considered an accurate or complete segregation of work by trades. This also applies to work specified within each section
- D. Contractor shall not alter the Drawings and Specification. If an error or discrepancy is found, notify the Consultant.
- E. Specifying of interface and coordination in the various specification sections is provided for information and convenience only. These requirements in the various sections shall complement the requirements of this Section.

1.02 SPECIFICATION FORMATS AND CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
1. Abbreviated Language: Language used in the Specifications and other Contract Documents is abbreviated and include incomplete sentences. Omission of words or phrases such as “the Contractor shall”, “as shown on the drawings”, “a”, “an”, and “the” are intentional. Omitted words and phrases shall be provided by inference to form complete sentences. Words and



MALUHIA, A LONG TERM HEALTH CARE FACILITY HAWAII HEALTH SYSTEMS CORPORATION

HW-6: Single Door D/6 to 3rd Floor Day Room Toilet

1-1/2 prs.	Hinges	5BB1HW 4.5 x 4.5	26D	Ives
1	Latchset	49-8265/LNL	26D	Sargent
1	Closer	1461 DEL*	AL	LCN
1	Wall Bumper	WS406/407CVX	26D	Ives
3	Door Silencers	SR64	Gray	Ives

HW-7: Single Door D/7 from Physical Therapy Toilet Closet

1-1/2 prs.	Hinges	5BB1HW 4.5 x 4.5	26D	Ives
1	Lockset	8206/LNL	26D	Sargent
1	Overhead Stop	1544F **	26D	LCN
3	Door Silencers	SR64	Gray	Ives

HW-8: Single Existing Doors to Patient Bathrooms Replacement Latchset

1	Lockset (Hospital Privacy)	10U68/LL	26D	Sargent
----------	-----------------------------------	-----------------	------------	----------------

All other hardware to remain.

* Provide with Hold-Open Feature. Mount on pull side of door.

** Mount on push side of door.

1.08 SCHEDULE

Furnish copies of Schedule of Hardware in compliance with specifications and drawings. List each opening and hardware to be applied. State, material, finish and manufacturer's number for each item.

1.09 FINISH HARDWARE

The Contractor shall carefully adjust all new hardware to perfect working order, to the satisfaction of the Architect. Any defective, damaged and/or missing parts shall be replaced by the Contractor at his own expense.

END OF SECTION



MALUHIA, A LONG TERM HEALTH CARE FACILITY HAWAII HEALTH SYSTEMS CORPORATION



REQUEST FOR SUBSTITUTION

DATE: 12-19-2025

TODD NORDSTROM
CIP COORDINATOR
LEAHI HOSPITAL
~~UNIVERSITY OF HAWAII~~
3675 KILAUEA AVE.
HONOLULU, HAWAII 96816

TODD NORDSTROM:

SUBJECT: REQUEST FOR SUBSTITUTION

PROJECT TITLE: MALAHUUA ADA RENOVATION

JOB NO: ~~34216-365~~

In accordance with the requirements of Notice to Bidders, we hereby submit for substitution one (1) set of descriptive literature, technical brochures and or/plans, and statement of variances for your review and approval for the item(s) shown below:



MALUHIA, A LONG TERM HEALTH CARE FACILITY

HAWAII HEALTH SYSTEMS CORPORATION



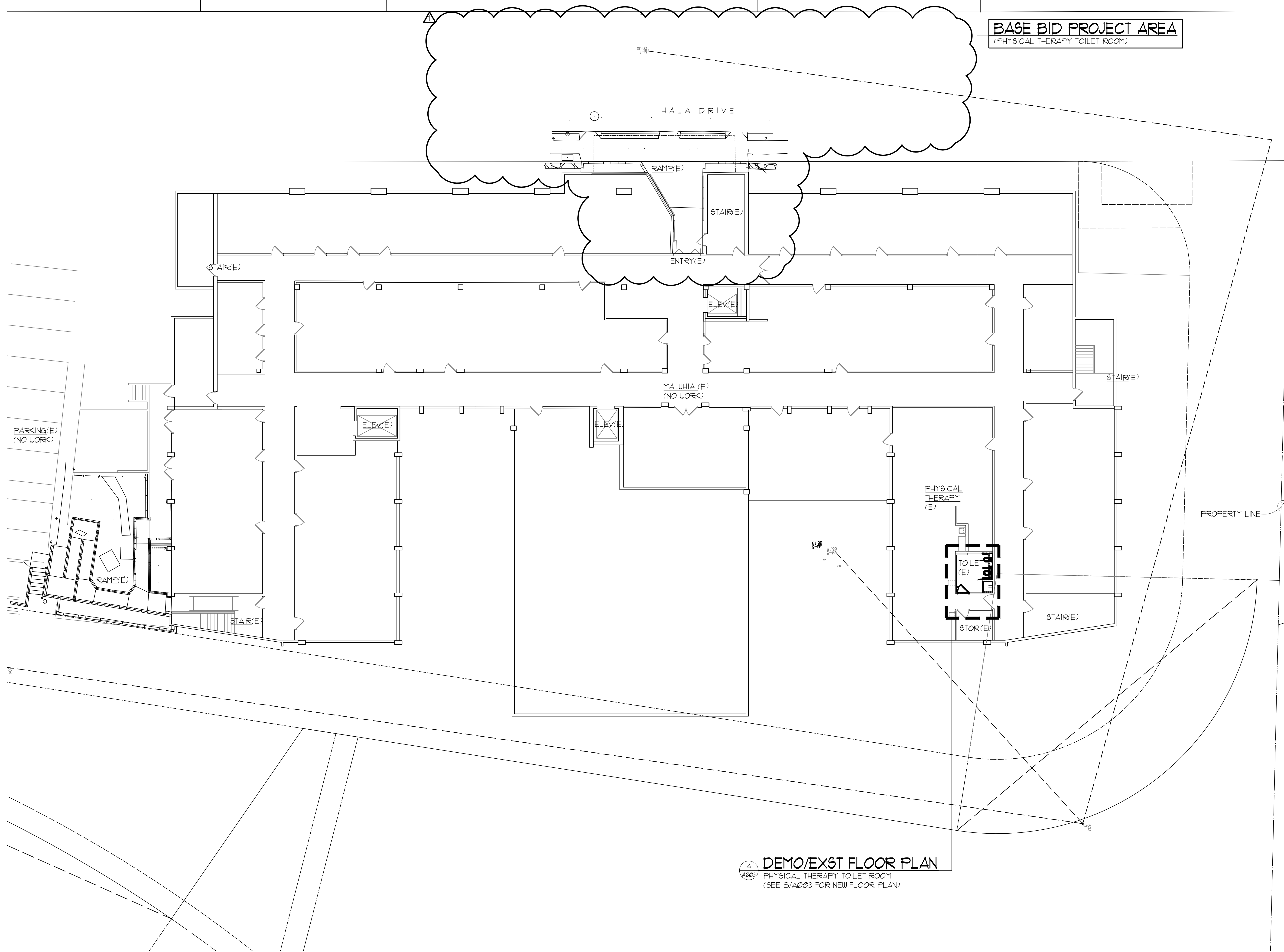
SECTION/ITEM	SPECIFIED MFR/MODEL	SUBSTITUTE MANUFACTURER/MODEL	SIMILAR FEATURES	VARIANT FEATURES FROM SUBSTITUTE
TYPE 1	GS-4-LS-35-U-W-D / A-LIGHT Housing Material Lumens 2000 Lumens Wattage 20 Watts CCT 3500K CRI 90 CRI Driver 120-277V Lens Acrylic Lens Listing UL1598, IC Mounting Recessed Performance 100 LPW Warranty 5-year warranty	PRFL-64-D-FL-35-LO-4-G-W-DIM10 / DAYOLITE Housing Material Aluminum and Steel housing Lumens 2300 Lumens Wattage 20 Watts CCT 3500K CRI 90 CRI Driver 120-277V Lens Acrylic Lens Listing UL1598, cETLus, CSA Mounting Recessed Performance 115 LPW Warranty 5-year warranty	Lumens 2300 Lumens Wattage 20 Watts CCT 3500K CRI 90 CRI Driver 120-277V Lens Acrylic Lens Listing UL1598, cETLus, CSA Mounting Recessed Warranty 5-year warranty	• The Substitute has a better Efficacy Rate.

SECTION/ITEM	SPECIFIED MFR/MODEL	SUBSTITUTE MANUFACTURER/MODEL	SIMILAR FEATURES	VARIANT FEATURES FROM SUBSTITUTE
TYPE 1A	GS-4-LS-35-U-W-D / A-LIGHT Housing Material Lumens 1000 Lumens Wattage 10 Watts CCT 3500K CRI 90 CRI Driver 120-277V Lens Acrylic Listing UL1598, IC Mounting Recessed Performance 100 LPW Warranty 5-year warranty	HADL6-FF-2FW-18L-30K8-M-CS-9-RIG6-DV-DIM Housing Material Aluminum and Steel housing Lumens 1150 Lumens Wattage 10 Watts CCT 3500K CRI 90 CRI Driver 120-277V Lens Acrylic Lens Listing UL1598, cETLus, CSA Mounting Recessed Performance 115 LPW Warranty 5-year warranty	Wattage 10 Watts CCT 3500K CRI 90 CRI Driver 120-277V Lens Acrylic Lens Listing UL1598, cETLus, CSA Mounting Recessed Performance 115 LPW Warranty 5-year warranty	• The Substitute has a better Efficacy Rate.

I further certify that my request for substitution of the above items(s) has no other variant features. If there are any questions regarding this request, please contact Precious at (808) 439-6450 Ext. 14

SIGNATURE

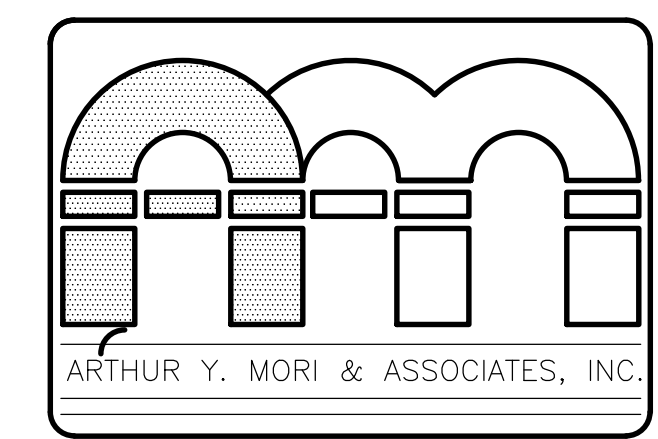
Solid State Lighting Hawaii, 1188 Bishop Street Unit 2307, Honolulu, Hawaii 96813
(808) 439-6450



BASE BID PROJECT AREA
(PHYSICAL THERAPY TOILET ROOM)

DEMO/EXIST FLOOR PLAN
PHYSICAL THERAPY TOILET ROOM
(SEE B/A003 FOR NEW FLOOR PLAN)

OVERALL 1ST FLOOR PLAN
SCALE: 3/16" = 1'-0"



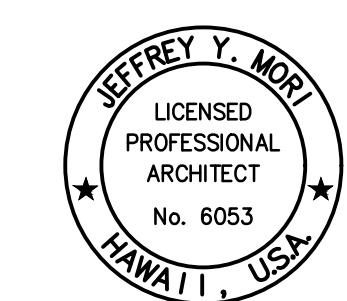
ARCHITECTS AIA
1314 SOUTH KING / SUITE 955
HONOLULU, HAWAII 96814

ADA RENOVATIONS
Maluhia - 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

TWK: 1-6-009: 004

Bid Set

SHEET TITLE
OVERALL 1ST FLOOR PLAN



LICENSE EXPIRES: 4/30/26
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

SIGNATURE

NO.	REVISION
12.23.25	ADDENDUM 1
JOB NO.	-

SHEET	DATE
A001	SEPT 18, 2025
	3 OF 32 SHTS

GRAPHIC SCALES 1" = 10' 1/2" = 5' 3/4" = 2' 1/2" = 1'

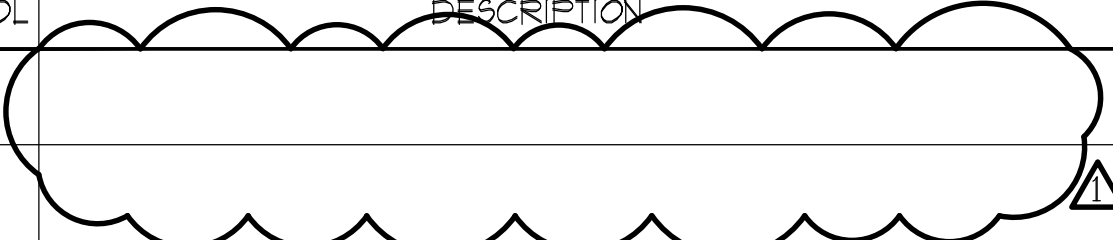
WORK LEGEND

	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

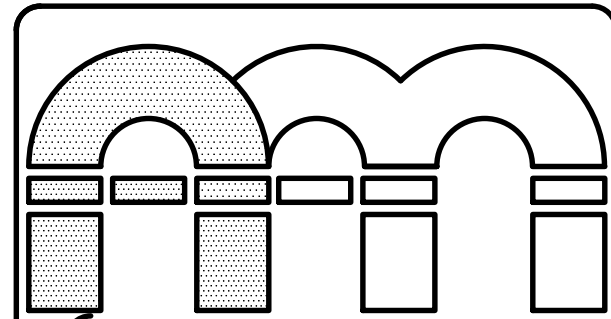
WORK LEGEND

	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

DEMOLITION WORK NOTES

SYMBOL	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

NEW WORK NOTES

[illegible]

ARCHITECTS AIA
1314 SOUTH KING / SUITE 955
HONOLULU, HAWAII 96814

ADA RENOVATIONS
Maluhia – 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

ADA RENOVATIONS
Maluhia – 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

ADA RENOVATIONS
Maluhia – 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

	Bid	Set
1	1	1
2	2	2
3	3	3
4	4	4
5	5	5
6	6	6
7	7	7
8	8	8
9	9	9
10	10	10
11	11	11
12	12	12
13	13	13
14	14	14
15	15	15
16	16	16
17	17	17
18	18	18
19	19	19
20	20	20
21	21	21
22	22	22
23	23	23
24	24	24
25	25	25
26	26	26
27	27	27
28	28	28
29	29	29
30	30	30
31	31	31
32	32	32
33	33	33
34	34	34
35	35	35
36	36	36
37	37	37
38	38	38
39	39	39
40	40	40
41	41	41
42	42	42
43	43	43
44	44	44
45	45	45
46	46	46
47	47	47
48	48	48
49	49	49
50	50	50
51	51	51
52	52	52
53	53	53
54	54	54
55	55	55
56	56	56
57	57	57
58	58	58
59	59	59
60	60	60
61	61	61
62	62	62
63	63	63
64	64	64
65	65	65
66	66	66
67	67	67
68	68	68
69	69	69
70	70	70
71	71	71
72	72	72
73	73	73
74	74	74
75	75	75
76	76	76
77	77	77
78	78	78
79	79	79
80	80	80
81	81	81
82	82	82
83	83	83
84	84	84
85	85	85
86	86	86
87	87	87
88	88	88
89	89	89
90	90	90
91	91	91
92	92	92
93	93	93
94	94	94
95	95	95
96	96	96
97	97	97
98	98	98
99	99	99
100	100	100



SIGNATURE

NO.		REVISION
	12.23.25	ADDENDUM 1
		
		
		
		
JOB NO.	—	

SHEET
A002

DATE SEPT 18, 2025

4 OF 32 SHTS

 $3/4" = 1'-0"$

WORK LEGEND	
	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR
DEMOLITION WORK NOTES	
SYMBOL	DESCRIPTION
1	REMOVE & SALVAGE LAVATORY
2	REMOVE GRAB BAR
3	REMOVE TOILET PAPER DISPENSER
4	REMOVE TILE FLOORING & THINSET GROUT BED
5	REMOVE & RELOCATE TOILET SEAT DISPENSER
6	REMOVE & SALVAGE SHOWER HEAD
7	REMOVE & RELOCATE NURSE CALL
8	REMOVE & SALVAGE WATER CLOSET
9	EXISTING LIGHT SWITCH TO REMAIN
10	REMOVE & RELOCATE LIGHT SWITCH
11	EXISTING MIRROR TO REMAIN
12	REMOVE & SALVAGE SHOWER CONTROLS
13	REMOVE & RELOCATE HANDHELD SHOWER HEAD MOUNT
14	EXISTING PAPER TOWEL DISPENSER TO REMAIN
15	REMOVE & RELOCATE PAPER TOWEL DISPENSER
16	EXISTING SOAP DISPENSER TO REMAIN
17	REMOVE & RELOCATE SOAP DISPENSER
18	REMOVE & SALVAGE MIRROR
19	REMOVE SHELVING
20	EXISTING FLOORING TO REMAIN, PROTECT AS NECESSARY
21	REMOVE PORTION OF WALL AS NECESSARY FOR PLUMBING & BACKING, TYP.
22	EXISTING GYP BD CEILING TO REMAIN
23	EXISTING LIGHT FIXTURE TO REMAIN
24	EXISTING SMOKE DETECTOR TO REMAIN
25	EXISTING FIRE SPRINKLER HEAD TO REMAIN
26	EXISTING EXHAUST AIR REGISTER TO REMAIN
27	EXISTING ACCESS PANELS TO REMAIN, TYP.
28	EXISTING KICK PLATE TO REMAIN, TYP.
29	REMOVE & SALVAGE CURTAIN ROD, TYP.
30	REMOVE & REPLACE LATCHSET, TYP.
31	PREP CONCRETE BENCH AS NECESSARY FOR NEW PAINT FINISH
32	PREP EXISTING DOOR & FRAME AS NECESSARY FOR NEW PAINT FINISH, TYP.

- GENERAL NOTES:
1.

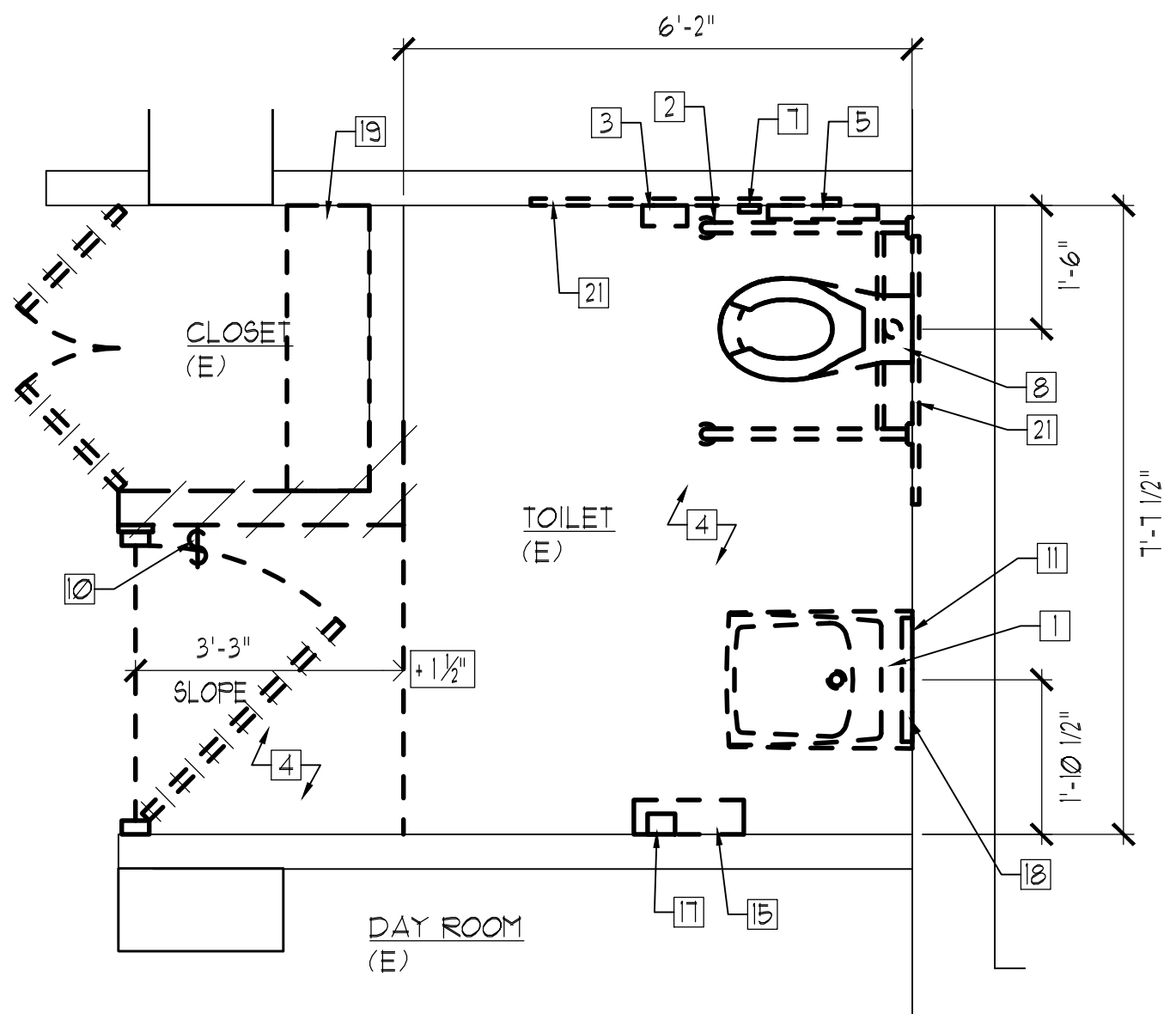
SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2.

SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3.

REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4.

CUT TILE & PATCH HOLES IN WALL AS NEEDED.
5.

PREP EXISTING WALL TILE FOR ADHESION BY CLEANING & SANDING GLOSSY TILES. APPLY A PRIMER WHERE NEEDED.



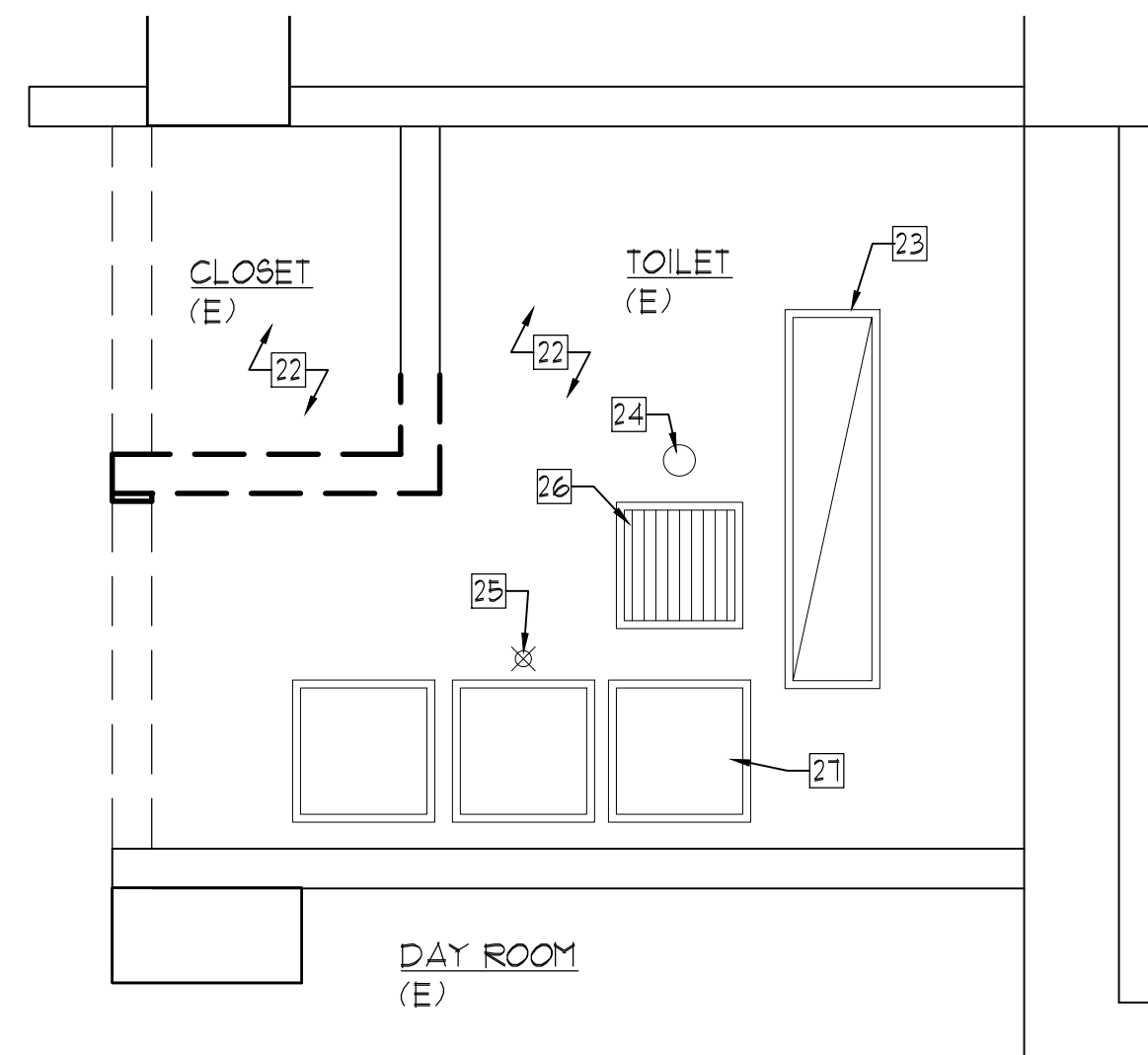
A

A005

DEMOL/ EXST FLOOR PLAN

SCALE: 1/2"= 1'-0"

(2nd Floor - Day Room)



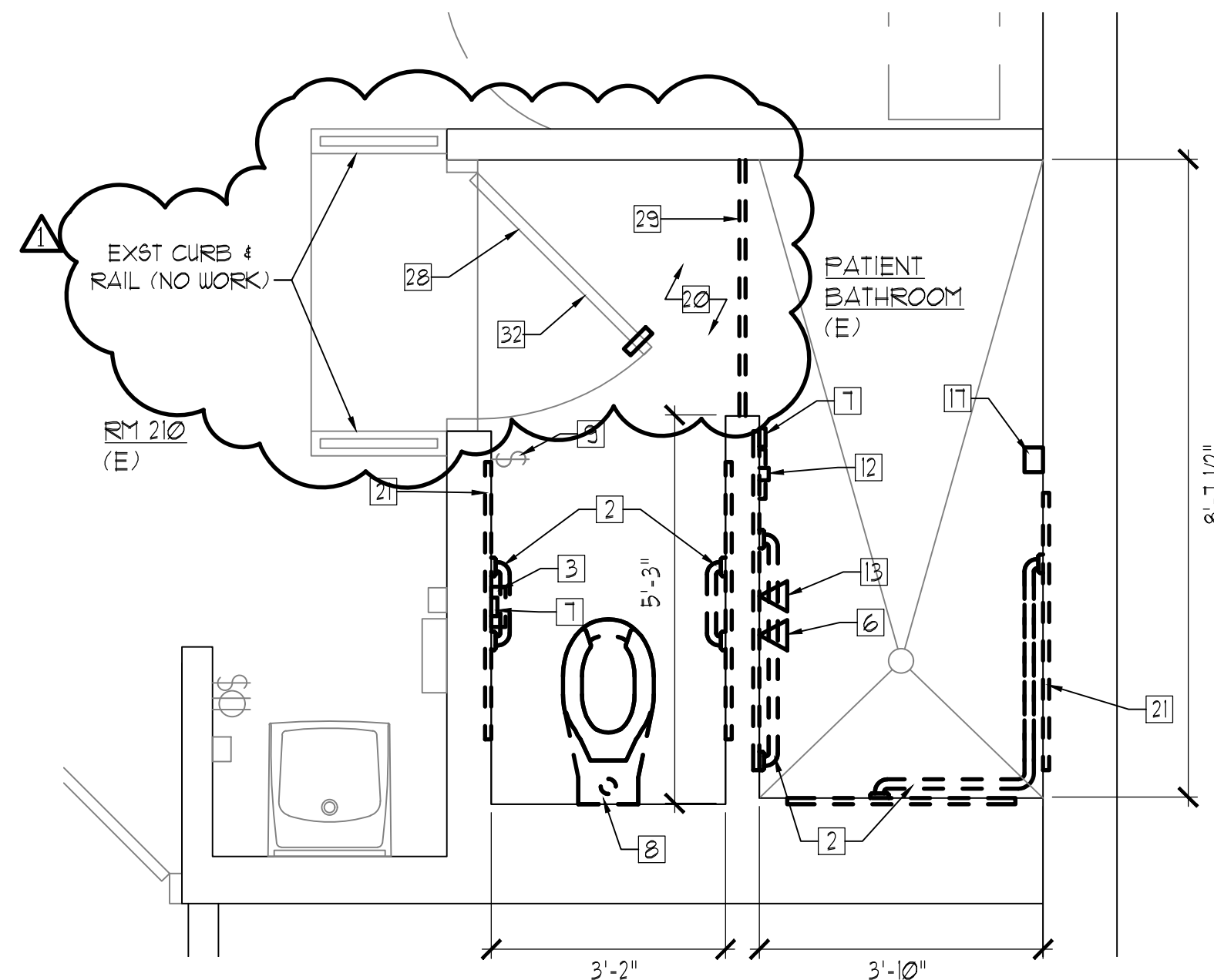
D

A005

DEMOL/ EXST CEILING PLAN

SCALE: 1/2"= 1'-0"

(2nd Floor - Day Room)



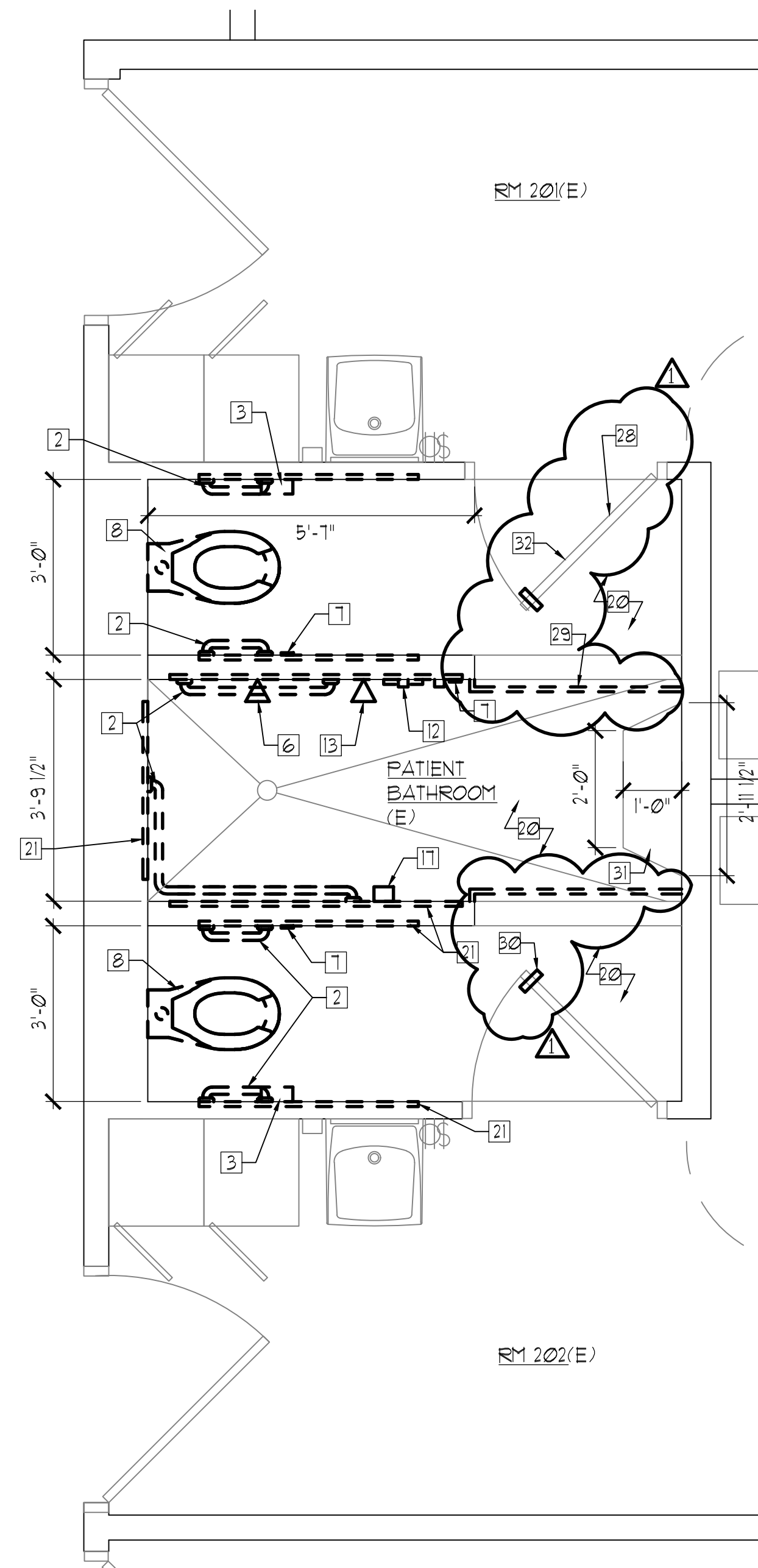
B

A005

DEMOL/ EXST FLOOR PLAN

SCALE: 1/2"= 1'-0"

(2nd Floor - Patient Rooms 209, 210, 211, 212, & 213)



C

A005

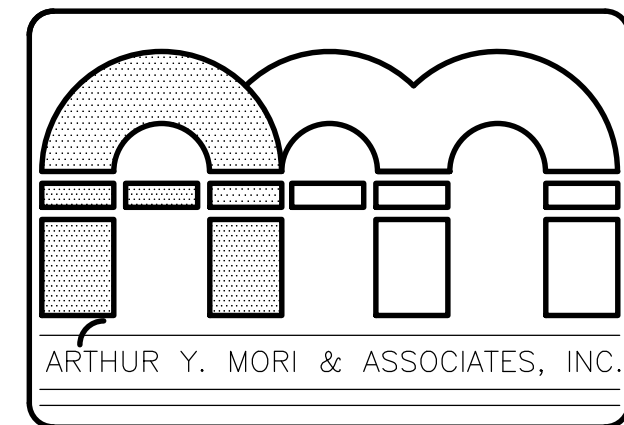
DEMOL/ EXST FLOOR PLAN

SCALE: 1/2"= 1'-0"

(2nd Floor - Patient Rooms 201, 202, 203, 204, 205, 206, 207, & 208)



BASE BID PROJECT AREA - MAKAI



ARCHITECTS AIA
1314 SOUTH KING / SUITE 955
HONOLULU, HAWAII 96814

ADA RENOVATIONS
Maluhia – 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

Bid Set

JEFFREY Y. MORI

LICENSED PROFESSIONAL ARCHITECT

No. 6053

HAWAII, USA

LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

SIGNATURE

NO.	REVISION
12.23.25	ADDENDUM 1
JOB NO.	-
SHEET	DATE SEPT 18, 2025
A005	7 OF 32 SHTS

3/4"=1'-0"
GRAPHIC SCALES

WORK LEGEND

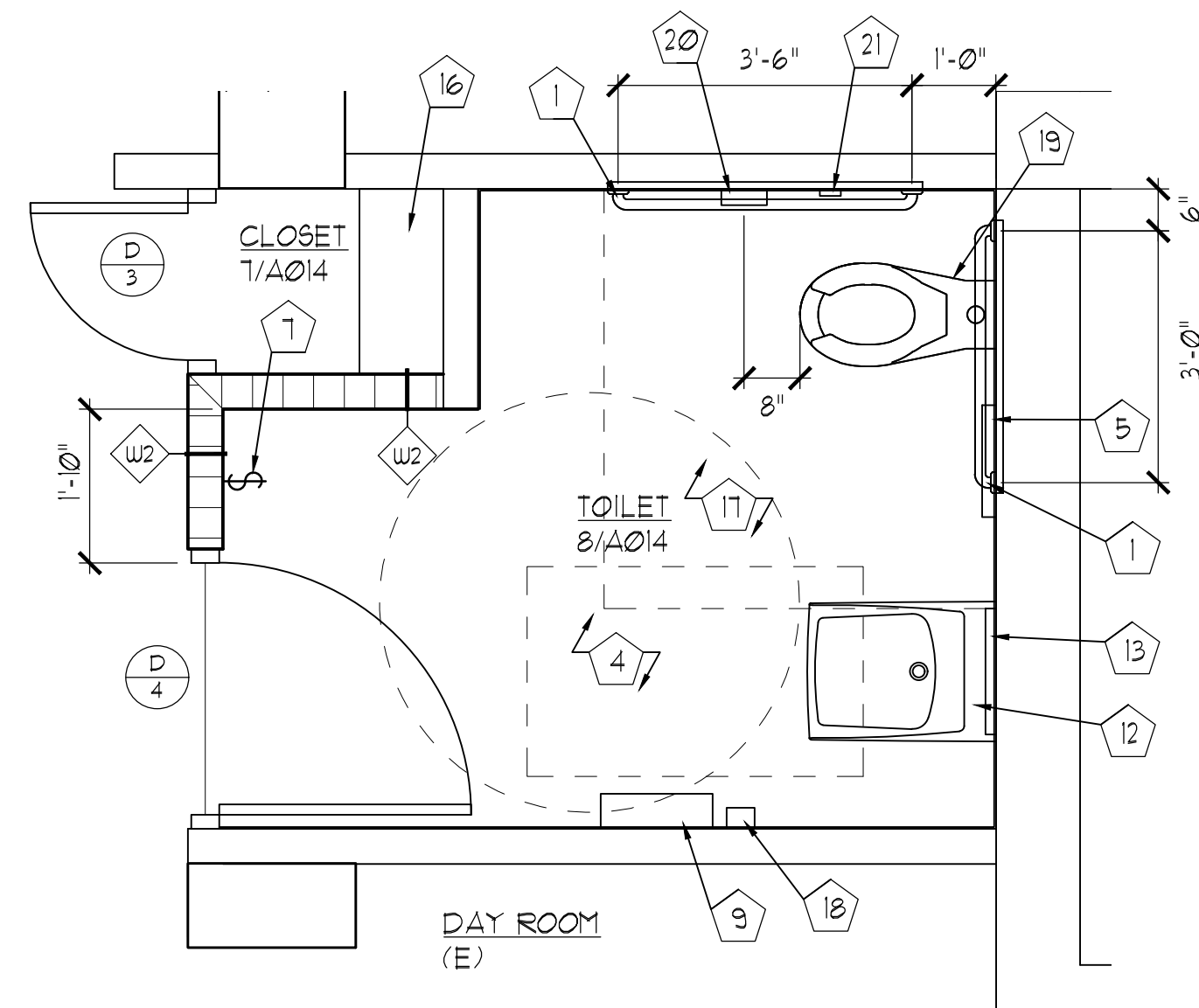
- | | |
|---|---------------------------------------|
|  | EXISTING WALL PARTITION TO REMAIN |
|  | EXISTING WALL PARTITION TO BE REMOVED |
|  | NEW WALL PARTITION |
|  | EXISTING DOOR TO REMAIN |
|  | EXISTING DOOR TO BE REMOVED |
|  | NEW DOOR |

GENERAL NOTES:

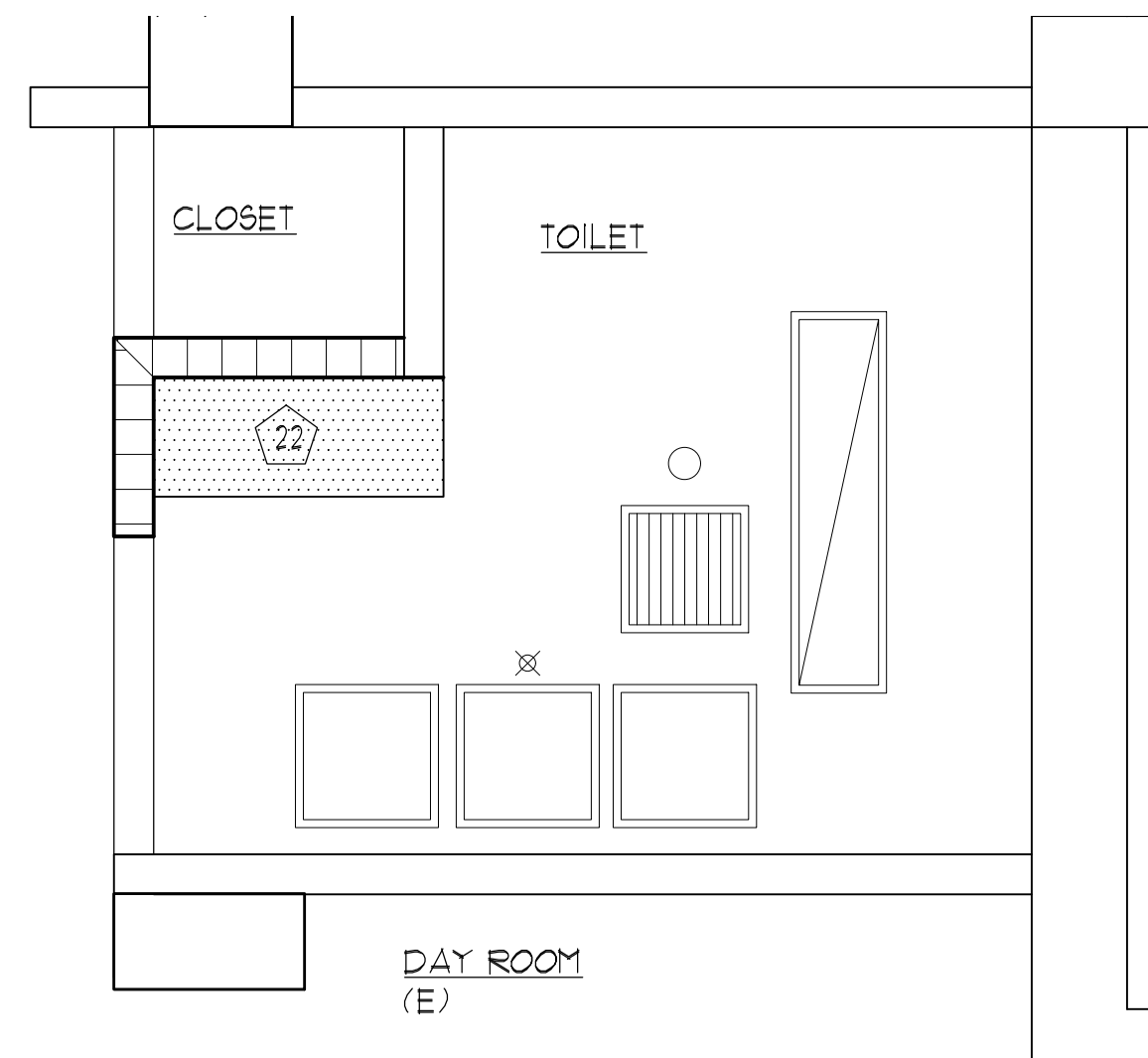
1. SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3. REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4. CUT TILE & PATCH HOLES IN WALL AS NEEDED.

NEW WORK NOTES

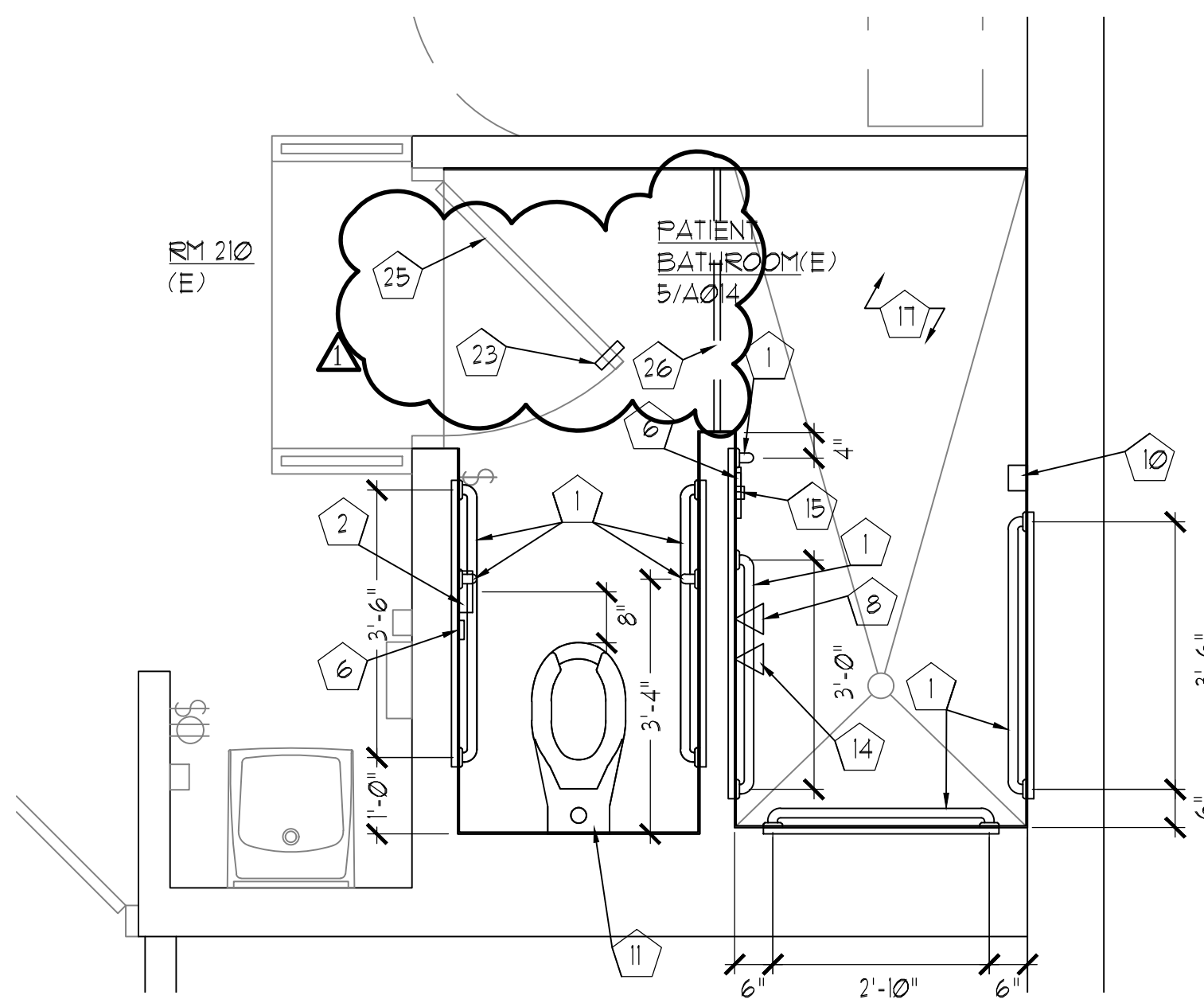
SYMBOL	DESCRIPTION
1	NEW GRAB BAR w/ BACKING IN WALL
2	RELOCATED TOILET PAPER DISPENSER
3	NOT USED
4	NEW SHEET VINYL FLOORING
5	NEW TOILET SEAT DISPENSER
6	RELOCATED NURSE CALL
7	RELOCATED LIGHT SWITCH
8	RELOCATED HANDHELD SHOWER HEAD MOUNT
9	NEW PAPER TOWEL DISPENSER
10	RELOCATED SOAP DISPENSER
11	REINSTALLED WATER CLOSET
12	NEW LAVATORY & FAUCET
13	NEW 24" x 36" MIRROR
14	REINSTALLED SHOWER HEAD
15	REINSTALLED SHOWER CONTROLS
16	NEW ADJUSTABLE SHELVES
17	NEW SOLID SURFACE WAINSCOT, TYP. - SEE INTERIOR ELEVATIONS
18	NEW SOAP DISPENSER
19	NEW WATER CLOSET
20	NEW TOILET PAPER DISPENSER
21	NEW NURSE CALL
22	NEW GYP BD CEILING
23	NEW LEVER HANDLE LATCHSET, TYP.
24	PAINT EXISTING CONCRETE BENCH, TYP.
25	PAINT EXISTING DOOR & FRAME (BOTH SIDES), TYP.
26	REINSTALLED CURTAIN ROD ABOVE, TYP.



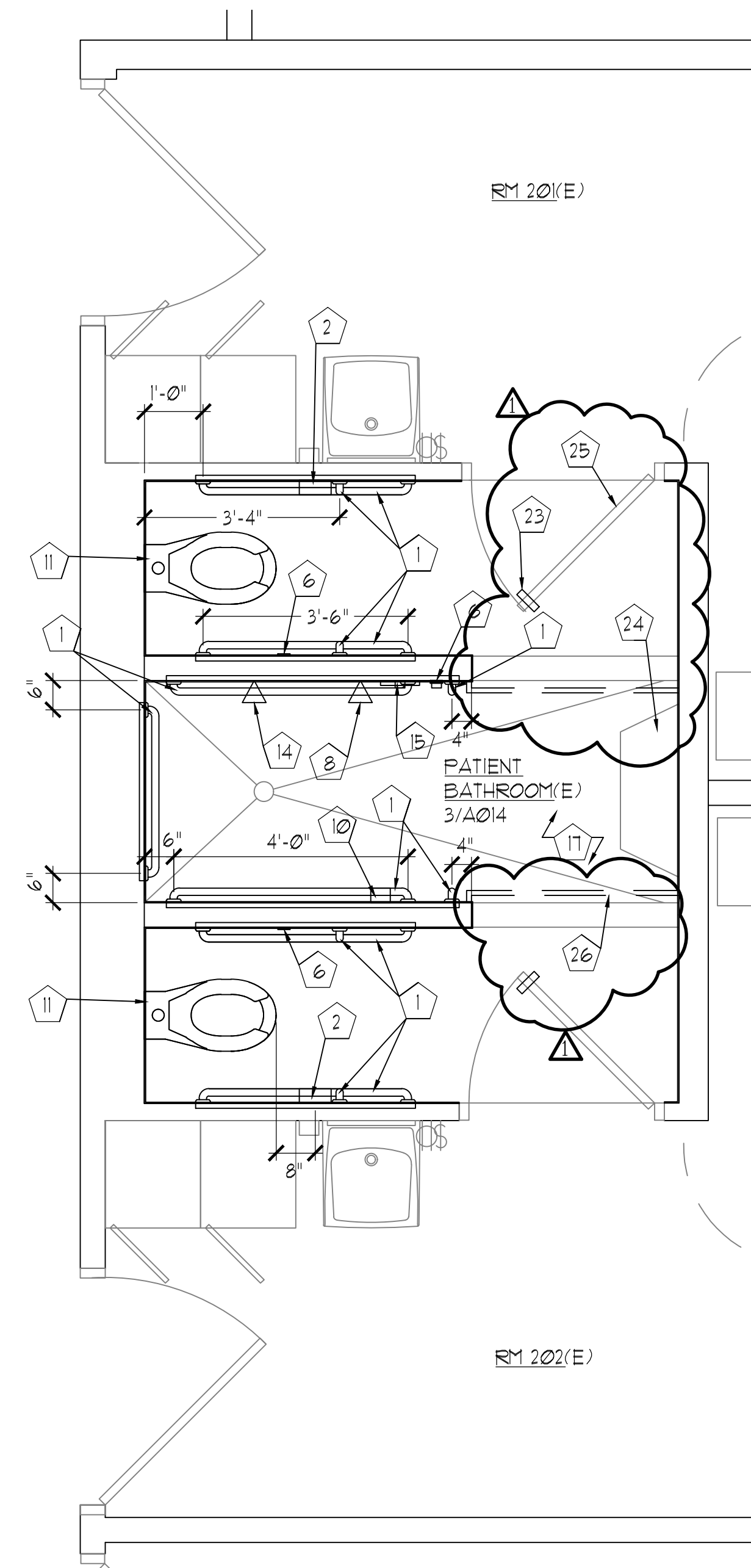
 NEW FLOOR PLAN
SCALE: 1/2" = 1'-0"
(2nd Floor - Day Room)



NEW CEILING PLAN
SCALE: 1/2" = 1'-0"
(2nd Floor - Day Room)



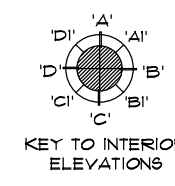
NEW FLOOR PLAN
SCALE: 1/2" = 1'-0"
(2nd Floor - Patient Rooms 209, 210, 211, 212, & 213)



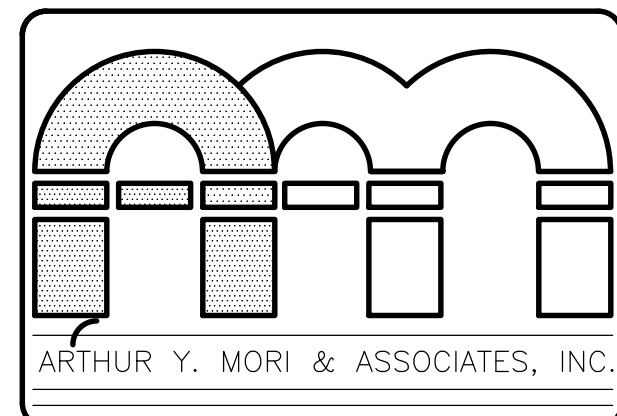
NEW FLOOR PLAN

SCALE: 1/2" = 1'-0"

(2nd Floor - Patient Rooms 201, 202, 203, 204, 205, 206, 207, & 208)



BASE BID PROJECT AREA - MAKAI



ARCHITECTS AIA
1314 SOUTH KING / SUITE 955
HONOLULU, HAWAII 96814

ADA RENOVATIONS
Matuhia – 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

Bid Set



LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii

SIGNATURE _____

NO.		REVISION
	12.23.25	ADDENDUM 1
		
		
		
		
JOB NO.		—

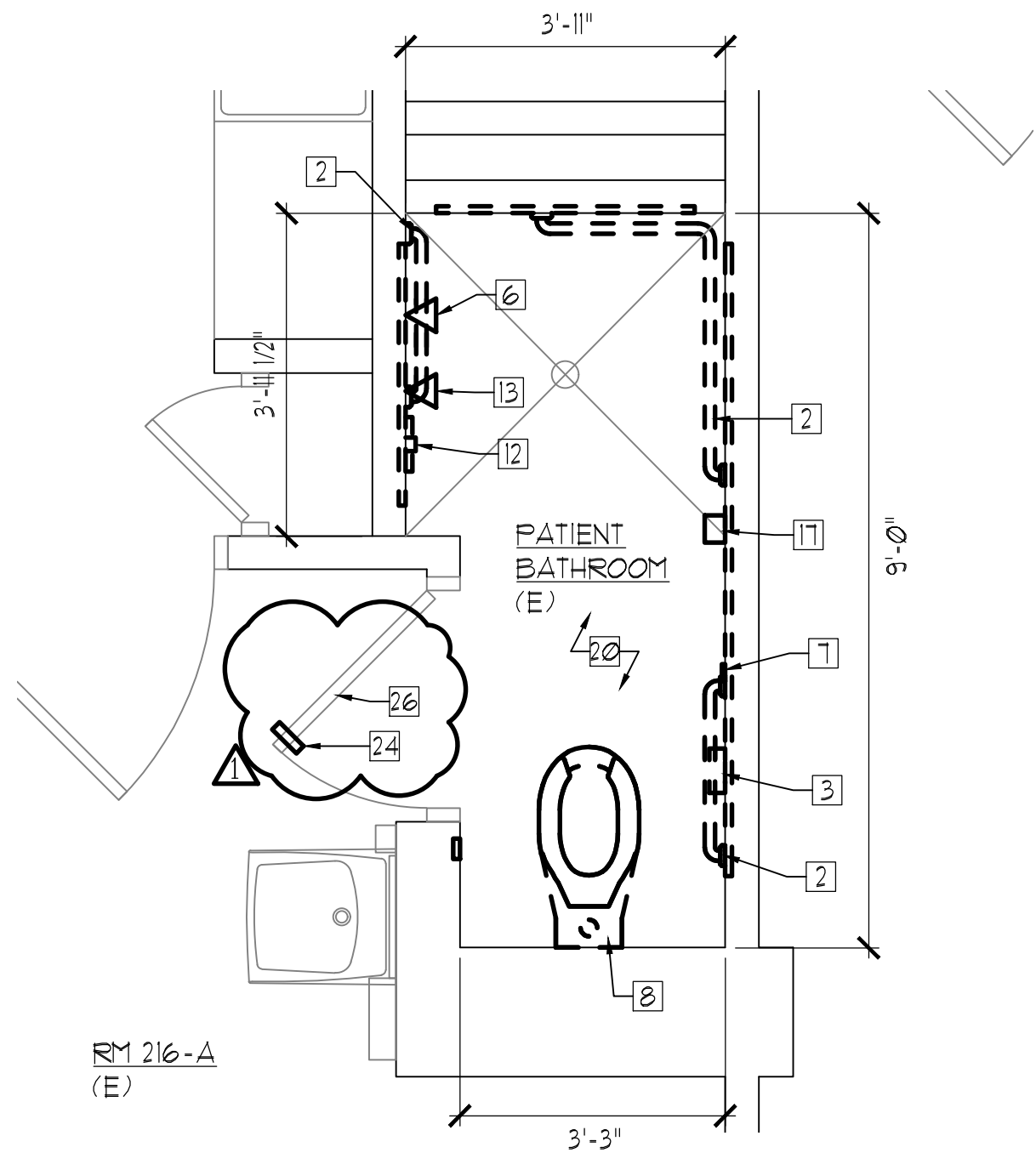
SHEET
A006
DATE SEPT 18, 2025
8 OF 32 SHTS

WORK LEGEND	
	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

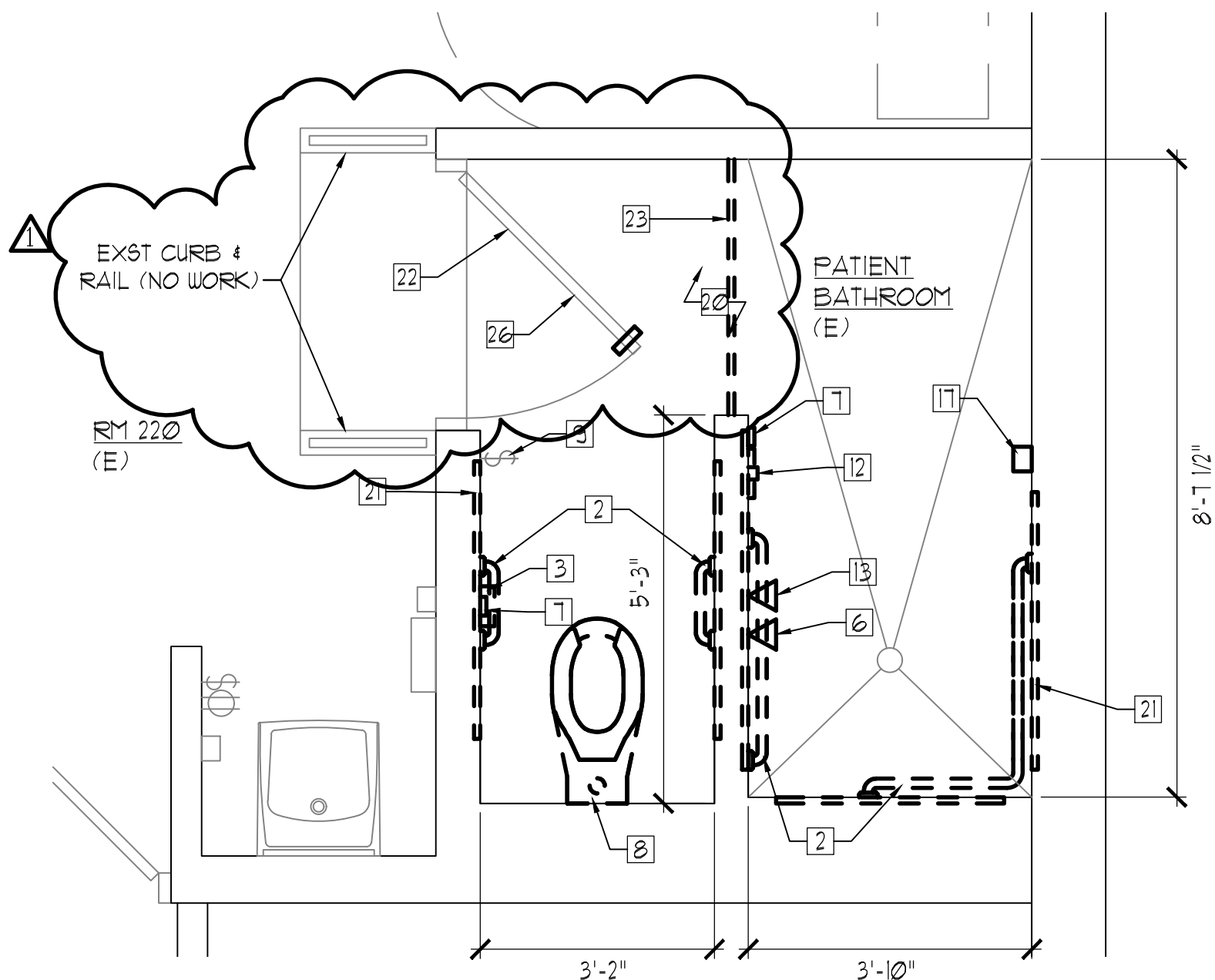
DEMOLITION WORK NOTES

SYMBOL	DESCRIPTION
[1]	NOT USED
[2]	REMOVE GRAB BAR
[3]	REMOVE TOILET PAPER DISPENSER
[4]	NOT USED
[5]	NOT USED
[6]	REMOVE & SALVAGE SHOWER HEAD
[7]	REMOVE & RELOCATE NURSE CALL
[8]	REMOVE & SALVAGE WATER CLOSET
[9]	EXISTING LIGHT SWITCH TO REMAIN
[10]	REMOVE & RELOCATE LIGHT SWITCH
[11]	EXISTING MIRROR TO REMAIN
[12]	REMOVE & SALVAGE SHOWER CONTROLS
[13]	REMOVE & RELOCATE HANDHELD SHOWER HEAD MOUNT
[14]	EXISTING PAPER TOWEL DISPENSER TO REMAIN
[15]	NOT USED
[16]	EXISTING SOAP DISPENSER TO REMAIN
[17]	REMOVE & RELOCATE SOAP DISPENSER
[18]	NOT USED
[19]	NOT USED
[20]	EXISTING FLOORING TO REMAIN, PROTECT AS NECESSARY
[21]	REMOVE PORTION OF WALL AS NECESSARY FOR PLUMBING & BACKING, TYP.
[22]	EXISTING KICK PLATE TO REMAIN, TYP.
[23]	REMOVE & SALVAGE CURTAIN ROD, TYP.
[24]	REMOVE & REPLACE LATCHSET, TYP.
[25]	PREP CONCRETE BENCH AS NECESSARY FOR NEW PAINT FINISH
[26]	PREP EXISTING DOOR & FRAME AS NECESSARY FOR NEW PAINT FINISH, TYP.

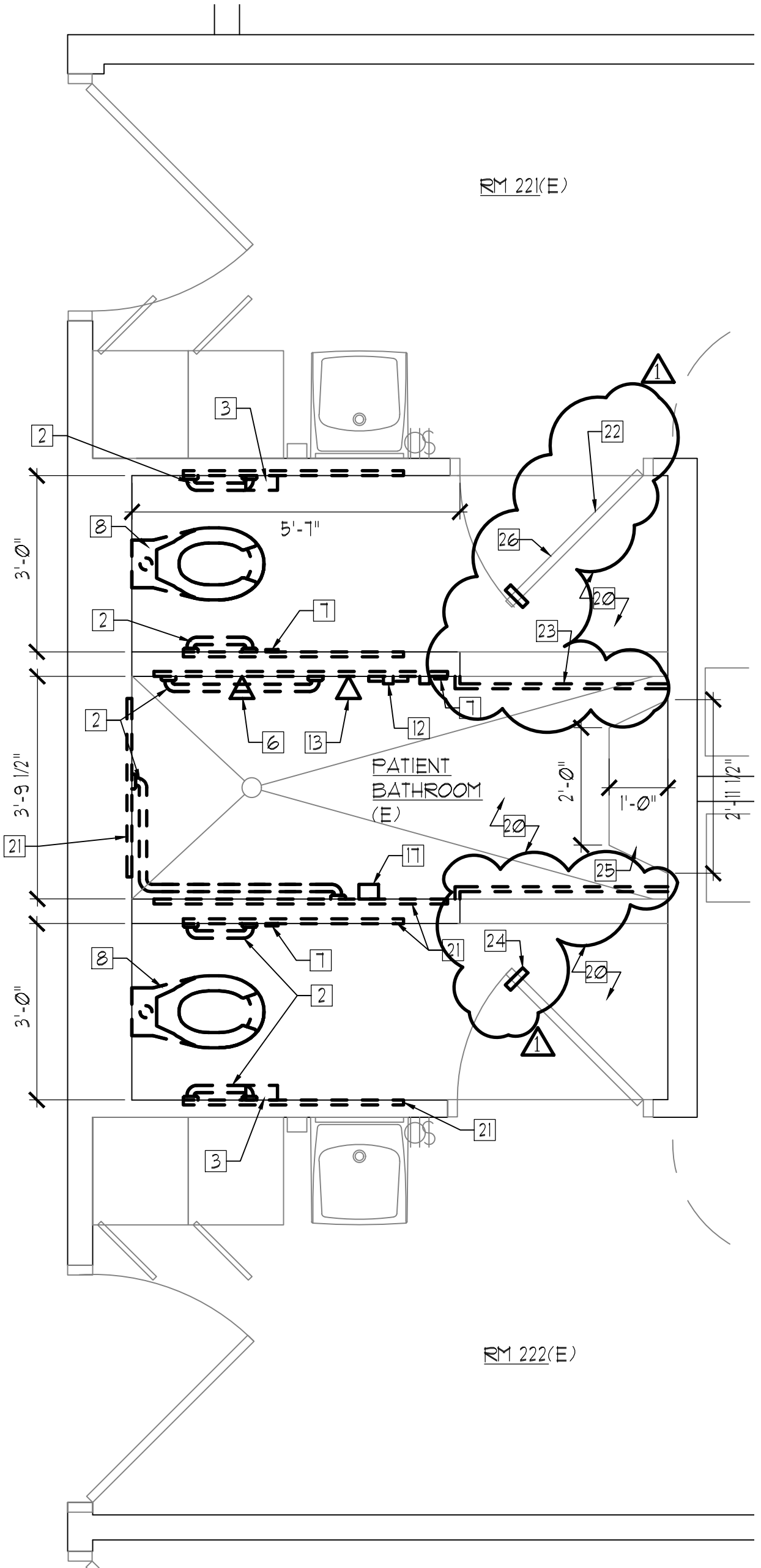
GENERAL NOTES:	
1.	SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2.	SEE ELECTRICAL DRAWINGS FOR RELOCATED OR NEW LIGHT FIXTURES & ACCESSORY HEIGHTS.
3.	SEE PLUMBING DRAWINGS FOR RELOCATED OR NEW TOILET FIXTURE & ACCESSORY HEIGHTS.
4.	CUT TILE & PATCH HOLES IN WALL AS NEEDED.
5.	PREP EXISTING WALL TILE FOR ADHESION BY CLEANING & SANDING GLOSSY TILES. APPLY A PRIMER WHERE NEEDED.



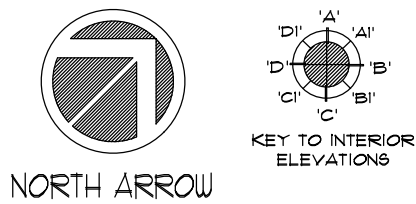
DEMO/ EXST FLOOR PLAN
SCALE: 1/2" = 1'-0"
(2nd Floor - Patient Rooms 216-A & 217-B)



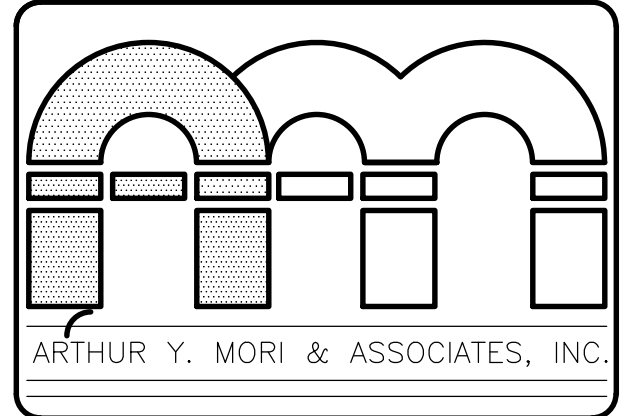
DEMO/ EXST FLOOR PLAN
SCALE: 1/2" = 1'-0"
(2nd Floor - Patient Rooms 217, 218, 219, & 220)



DEMO/ EXST FLOOR PLAN
SCALE: 1/2" = 1'-0"
(2nd Floor - Patient Rooms 221, 222, 223, 224, 225, 226, 227, & 228)



ADD ALTERNATE 1 PROJECT AREA - MAUKA



ARCHITECTS AIA
1314 SOUTH KING / SUITE 955
HONOLULU, HAWAII 96814

ADA RENOVATIONS
Maluhia - 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

Bid Set

TMK: 1-6-009: 004

SHEET TITLE
EXST/DEMO PATIENT BATHROOM PLANS - 2ND FLOOR

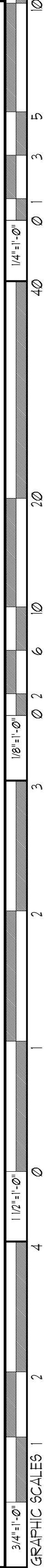
JEFFREY Y. MORI
LICENSED PROFESSIONAL ARCHITECT
No. 6053
HAWAII, USA

LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

SIGNATURE

NO.	REVISION
12.23.25	ADDENDUM 1
JOB NO.	-
SHEET A007	DATE SEPT 18, 2025
9	OF 32 SHTS



WORK LEGEND

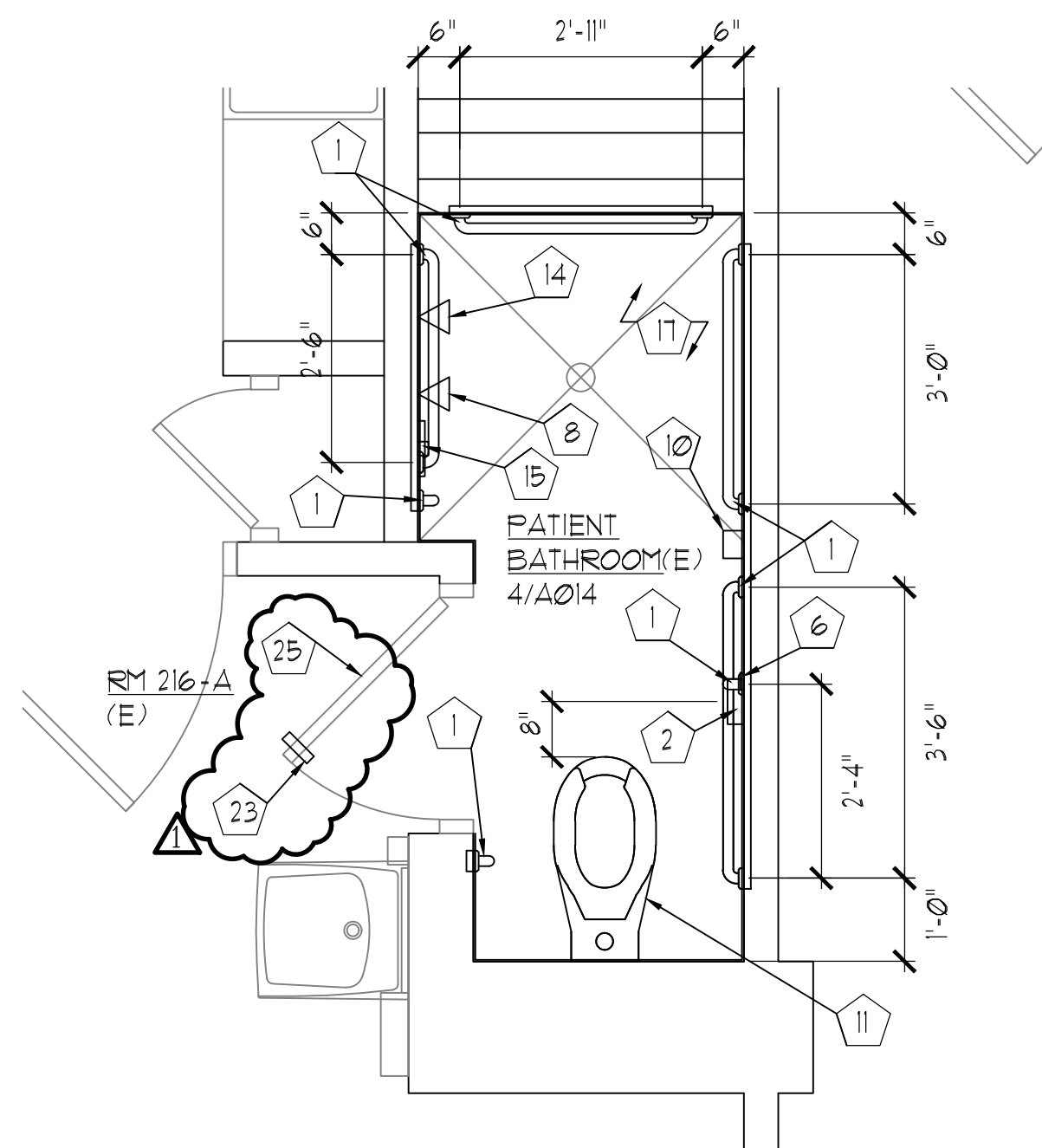
- | | |
|---|---------------------------------------|
|  | EXISTING WALL PARTITION TO REMAIN |
|  | EXISTING WALL PARTITION TO BE REMOVED |
|  | NEW WALL PARTITION |
|  | EXISTING DOOR TO REMAIN |
|  | EXISTING DOOR TO BE REMOVED |
|  | NEW DOOR |

GENERAL NOTES:

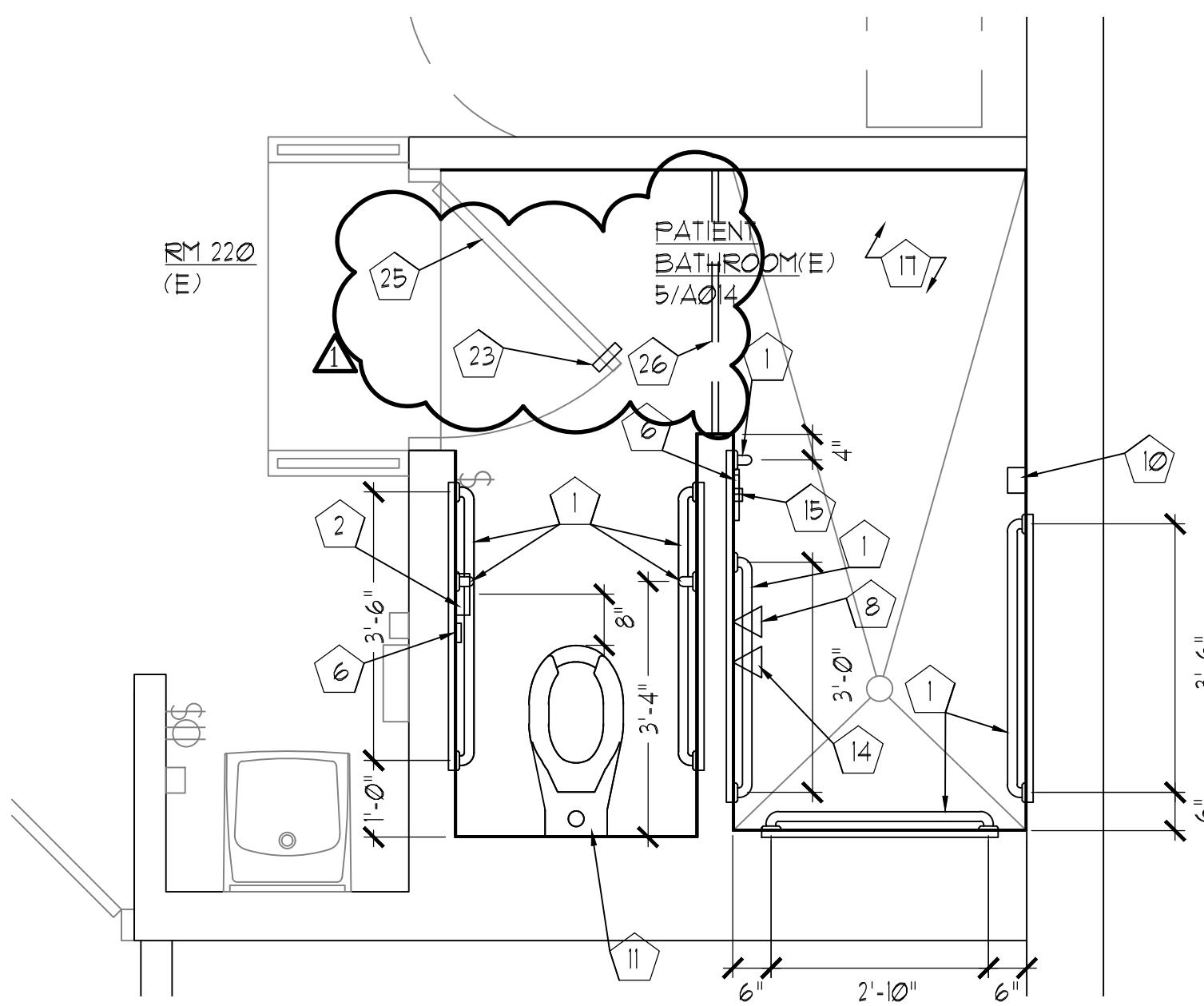
1. SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3. REFER TO SHEET ~~A000~~ FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4. CUT TILE & PATCH HOLES IN WALL AS NEEDED.

NEW WORK NOTES

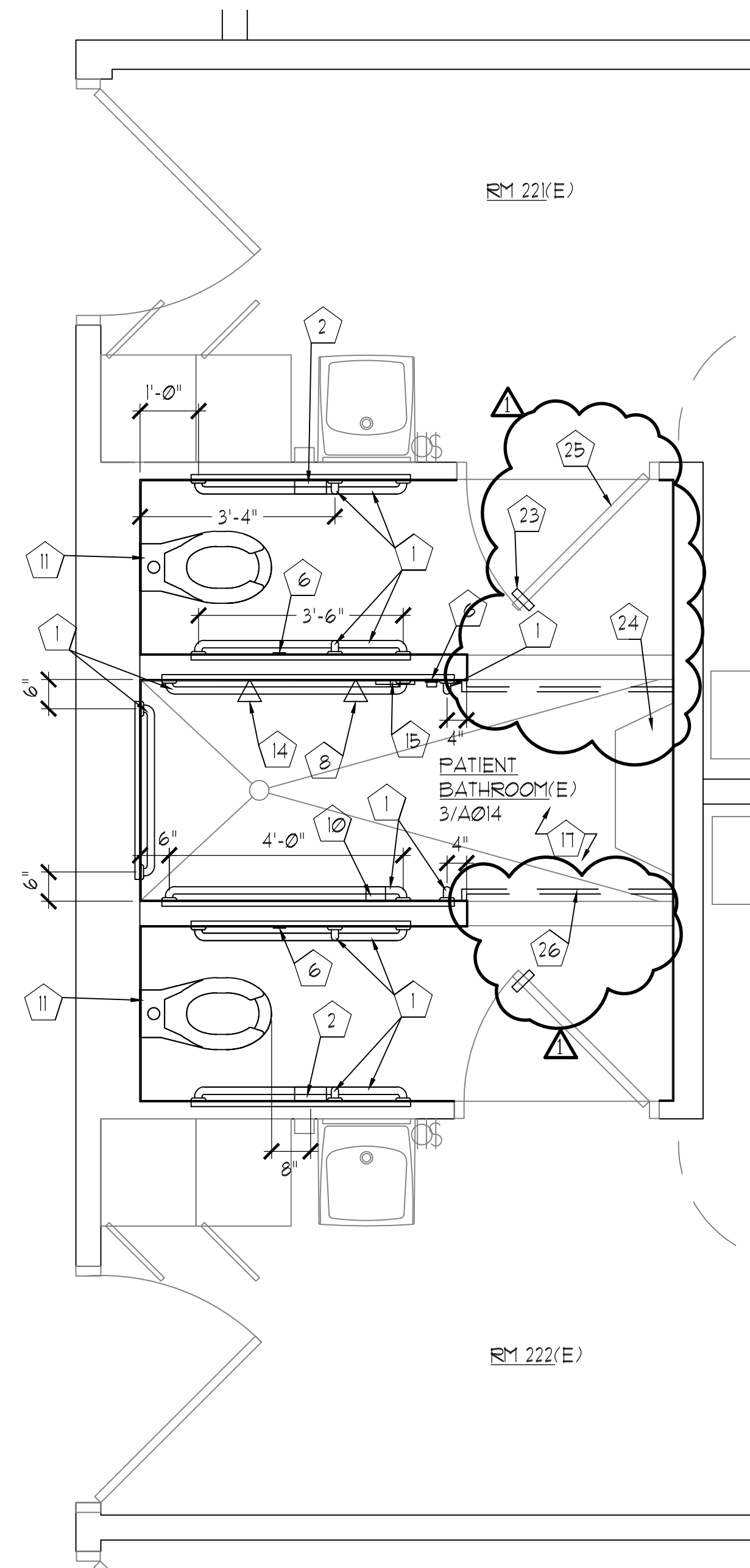
SYMBOL	DESCRIPTION
1	NEW GRAB BAR w/ BACKING IN WALL
2	RELOCATED TOILET PAPER DISPENSER
3	NOT USED
4	NOT USED
5	NOT USED
6	RELOCATED NURSE CALL
7	NOT USED
8	RELOCATED HANDHELD SHOWER HEAD MOUNT
9	NOT USED
10	RELOCATED SOAP DISPENSER
11	REINSTALLED WATER CLOSET
12	NOT USED
13	NOT USED
14	REINSTALLED SHOWER HEAD
15	REINSTALLED SHOWER CONTROLS
16	NOT USED
17	NEW SOLID SURFACE WAINSCOT, TYP. - SEE INTERIOR ELEVATIONS
18	NOT USED
19	NOT USED
20	NOT USED
21	NOT USED
22	NOT USED
23	NEW LEVER HANDLE LATCHSET, TYP.
24	PAINT EXISTING CONCRETE BENCH, TYP.
25	PAINT EXISTING DOOR & FRAME (BOTH SIDES), TYP.
26	REINSTALLED CURTAIN ROD ABOVE, TYP.



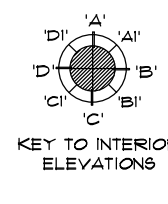
NEW FLOOR PLAN
SCALE: 1/2" = 1'-0"
(2nd Floor - Patient Rooms 216-A & 217-B)



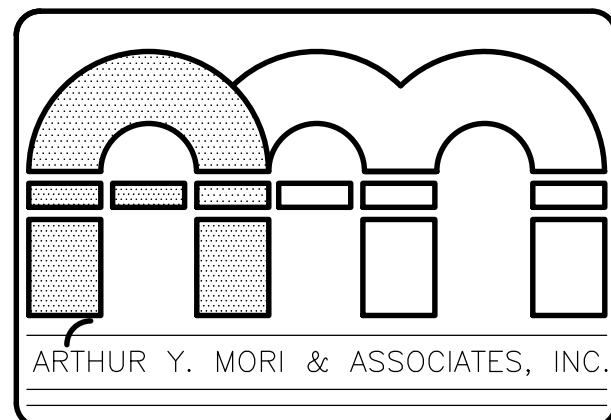
NEW FLOOR PLAN
SCALE: 1/2" = 1'-0"
(2nd Floor - Patient Rooms 217, 218, 219, & 220)



NEW FLOOR PLAN
SCALE: 1/2" = 1'-0"
(2nd Floor - Patient Rooms 221, 222, 223, 224, 225, 226, 227, & 228)



ADD ALTERNATE | PROJECT AREA - MAUKA



ARCHITECTS AIA
1314 SOUTH KING / SUITE 955
HONOLULU, HAWAII 96814

ADA RENOVATIONS
Matuhia – 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

TMK: 1-6-009: 004

Bid	Set
1	1
2	1
3	1
4	1
5	1
6	1
7	1
8	1
9	1
10	1
11	1
12	1
13	1
14	1
15	1
16	1
17	1
18	1
19	1
20	1
21	1
22	1
23	1
24	1
25	1
26	1
27	1
28	1
29	1
30	1
31	1
32	1
33	1
34	1
35	1
36	1
37	1
38	1
39	1
40	1
41	1
42	1
43	1
44	1
45	1
46	1
47	1
48	1
49	1
50	1
51	1
52	1
53	1
54	1
55	1
56	1
57	1
58	1
59	1
60	1
61	1
62	1
63	1
64	1
65	1
66	1
67	1
68	1
69	1
70	1
71	1
72	1
73	1
74	1
75	1
76	1
77	1
78	1
79	1
80	1
81	1
82	1
83	1
84	1
85	1
86	1
87	1
88	1
89	1
90	1
91	1
92	1
93	1
94	1
95	1
96	1
97	1
98	1
99	1
100	1

SHEET TITLE
NEW PATIENT BATHROOM PLANS - 2ND FLOOR



LICENSE EXPIRES: 4/30/26

was prepared by me or under my supervision
ction of this project will be under my obser-
ervation of construction as defined in Section
the Hawaii Administrative Rules, Department of
and Consumer Affairs entitled Professional
Architects and Surveyors of the State of Hawaii.

SIGNATURE

NO.		REVISION
	12.23.25	ADDENDUM 1
		
		
		
		
JOB NO.	—	

SHEET

DATE SEPT 18, 2025

A008

10 OF 32 SHTS

WORK LEGEND	
	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR
DEMOLITION WORK NOTES	
SYMBOL	DESCRIPTION
1	REMOVE & SALVAGE LAVATORY
2	REMOVE GRAB BAR
3	REMOVE TOILET PAPER DISPENSER
4	REMOVE TILE FLOORING & THINSET GROUT BED
5	REMOVE & RELOCATE TOILET SEAT DISPENSER
6	REMOVE & SALVAGE SHOWER HEAD
7	REMOVE & RELOCATE NURSE CALL
8	REMOVE & SALVAGE WATER CLOSET
9	EXISTING LIGHT SWITCH TO REMAIN
10	REMOVE & RELOCATE LIGHT SWITCH
11	EXISTING MIRROR TO REMAIN
12	REMOVE & SALVAGE SHOWER CONTROLS
13	REMOVE & RELOCATE HANDHELD SHOWER HEAD MOUNT
14	EXISTING PAPER TOWEL DISPENSER TO REMAIN
15	REMOVE & RELOCATE PAPER TOWEL DISPENSER
16	EXISTING SOAP DISPENSER TO REMAIN
17	REMOVE & RELOCATE SOAP DISPENSER
18	REMOVE & SALVAGE MIRROR
19	REMOVE SHELVING
20	EXISTING FLOORING TO REMAIN, PROTECT AS NECESSARY
21	REMOVE PORTION OF WALL AS NECESSARY FOR PLUMBING & BACKING, TYP.
22	EXISTING GYP BD CEILING TO REMAIN
23	EXISTING LIGHT FIXTURE TO REMAIN
24	EXISTING SMOKE DETECTOR TO REMAIN
25	EXISTING FIRE SPRINKLER HEAD TO REMAIN
26	EXISTING EXHAUST AIR REGISTER TO REMAIN
27	EXISTING ACCESS PANELS TO REMAIN, TYP.
28	EXISTING KICK PLATE TO REMAIN, TYP.
29	REMOVE & SALVAGE CURTAIN ROD, TYP.
30	REMOVE & REPLACE LATCHSET, TYP.
31	PREP CONCRETE BENCH AS NECESSARY FOR NEW PAINT FINISH
32	PREP EXISTING DOOR & FRAME AS NECESSARY FOR NEW PAINT FINISH, TYP.

- GENERAL NOTES:
1.

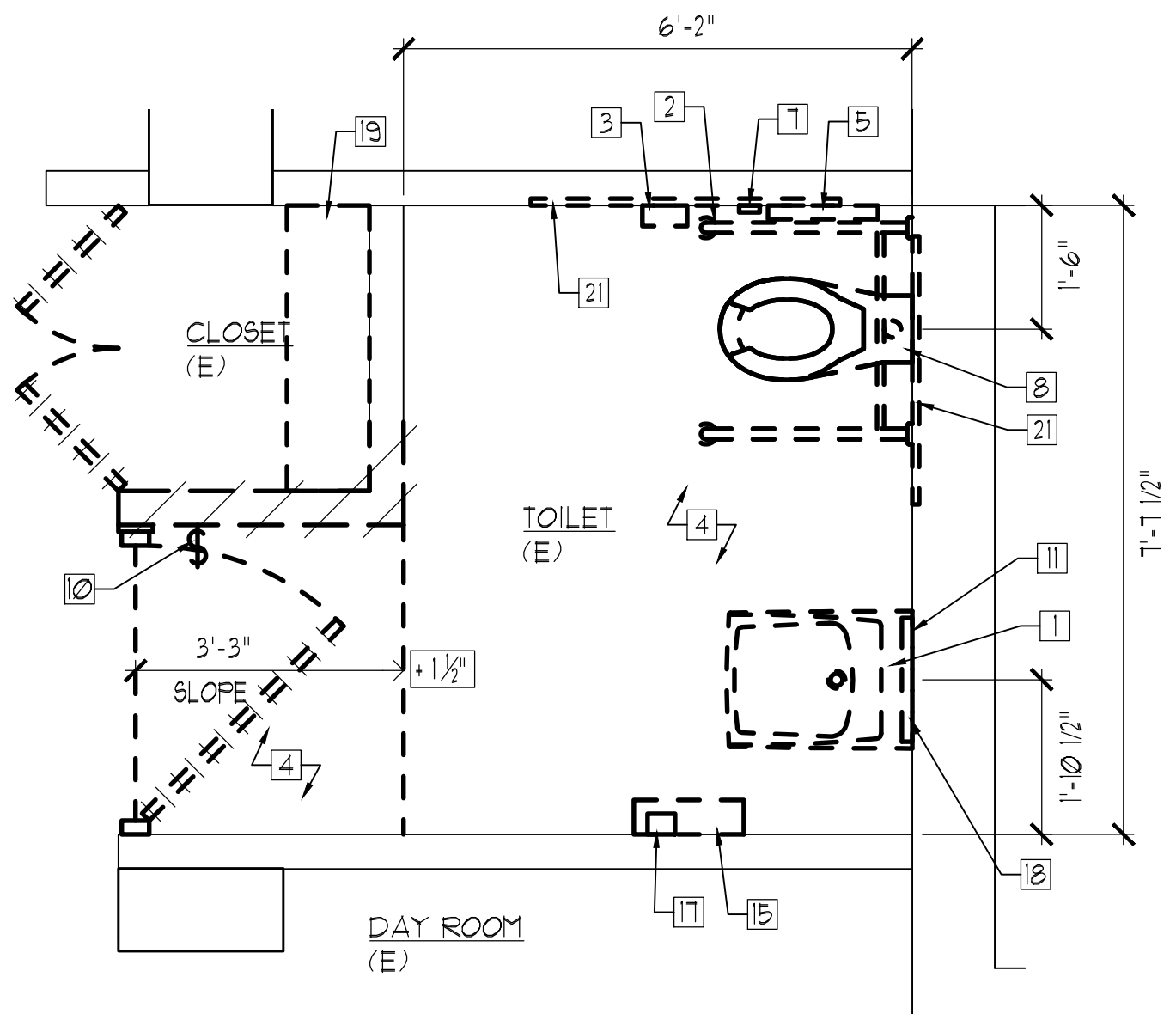
SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2.

SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3.

REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4.

CUT TILE & PATCH HOLES IN WALL AS NEEDED.
5.

PREP EXISTING WALL TILE FOR ADHESION BY CLEANING & SANDING GLOSSY TILES. APPLY A PRIMER WHERE NEEDED.

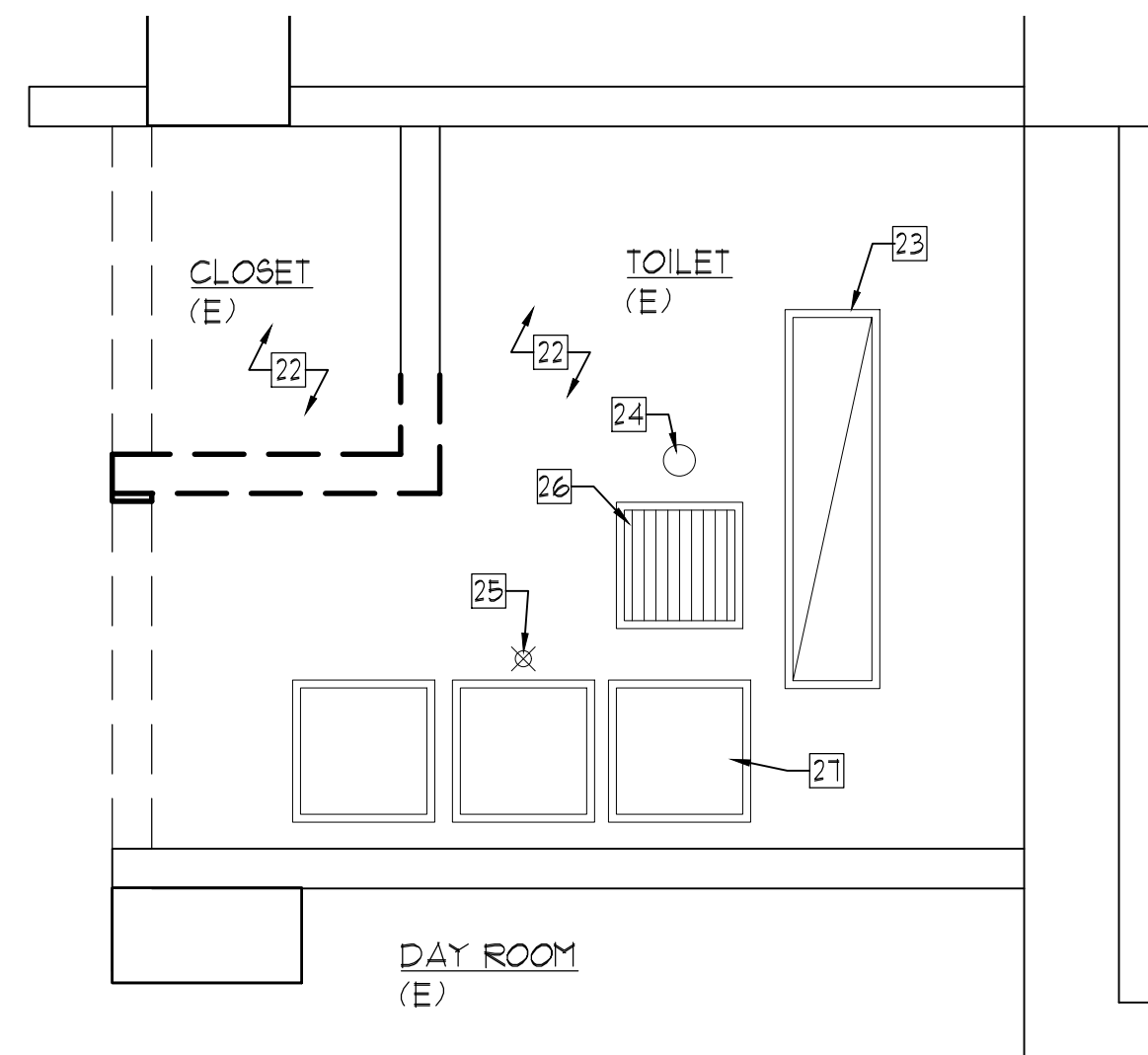


A010

DEMOLITION/EXIST FLOOR PLAN

SCALE: 1/2" = 1'-0"

(3rd Floor - Day Room)

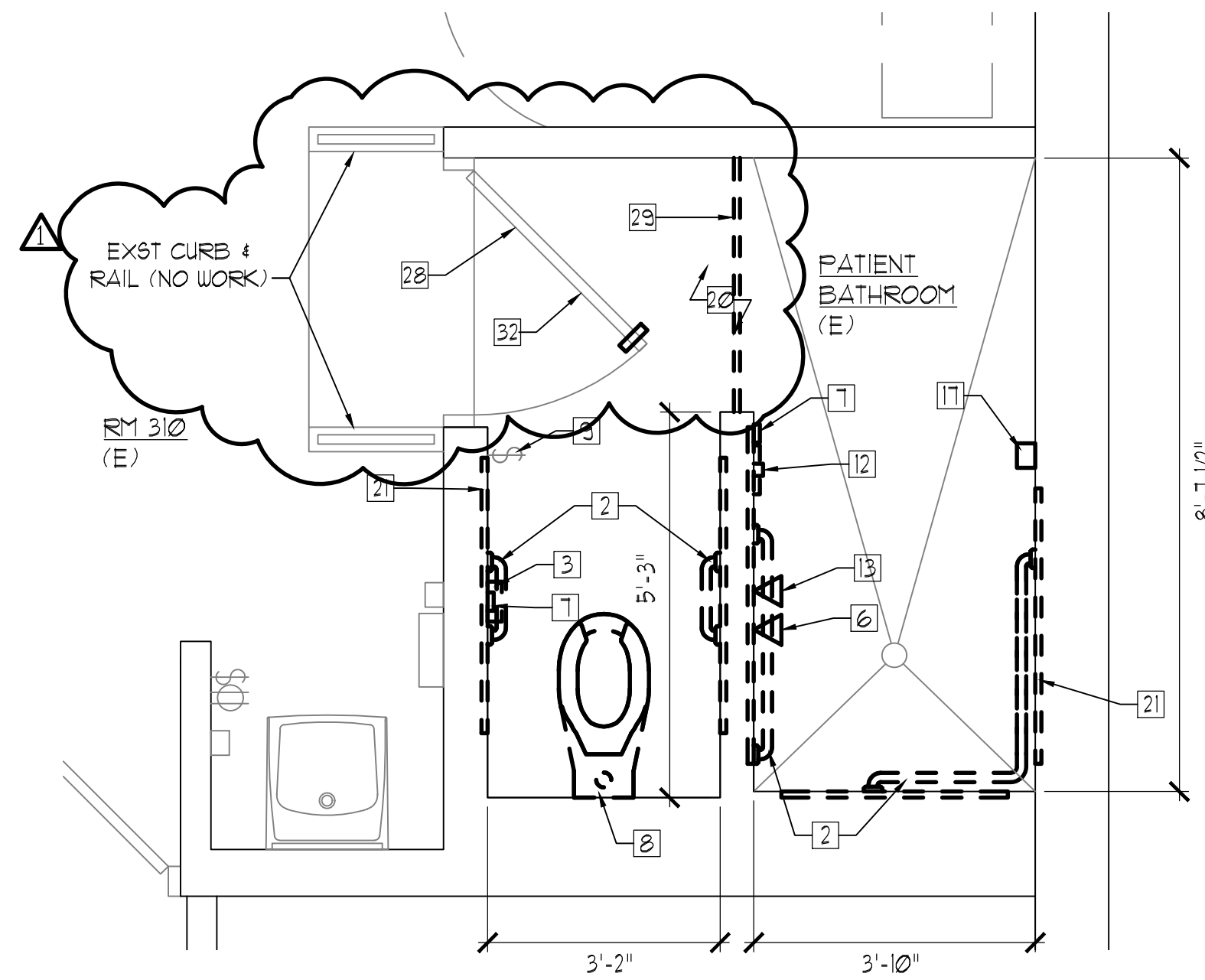


D010

DEMOLITION/EXIST CEILING PLAN

SCALE: 1/2" = 1'-0"

(3rd Floor - Day Room)

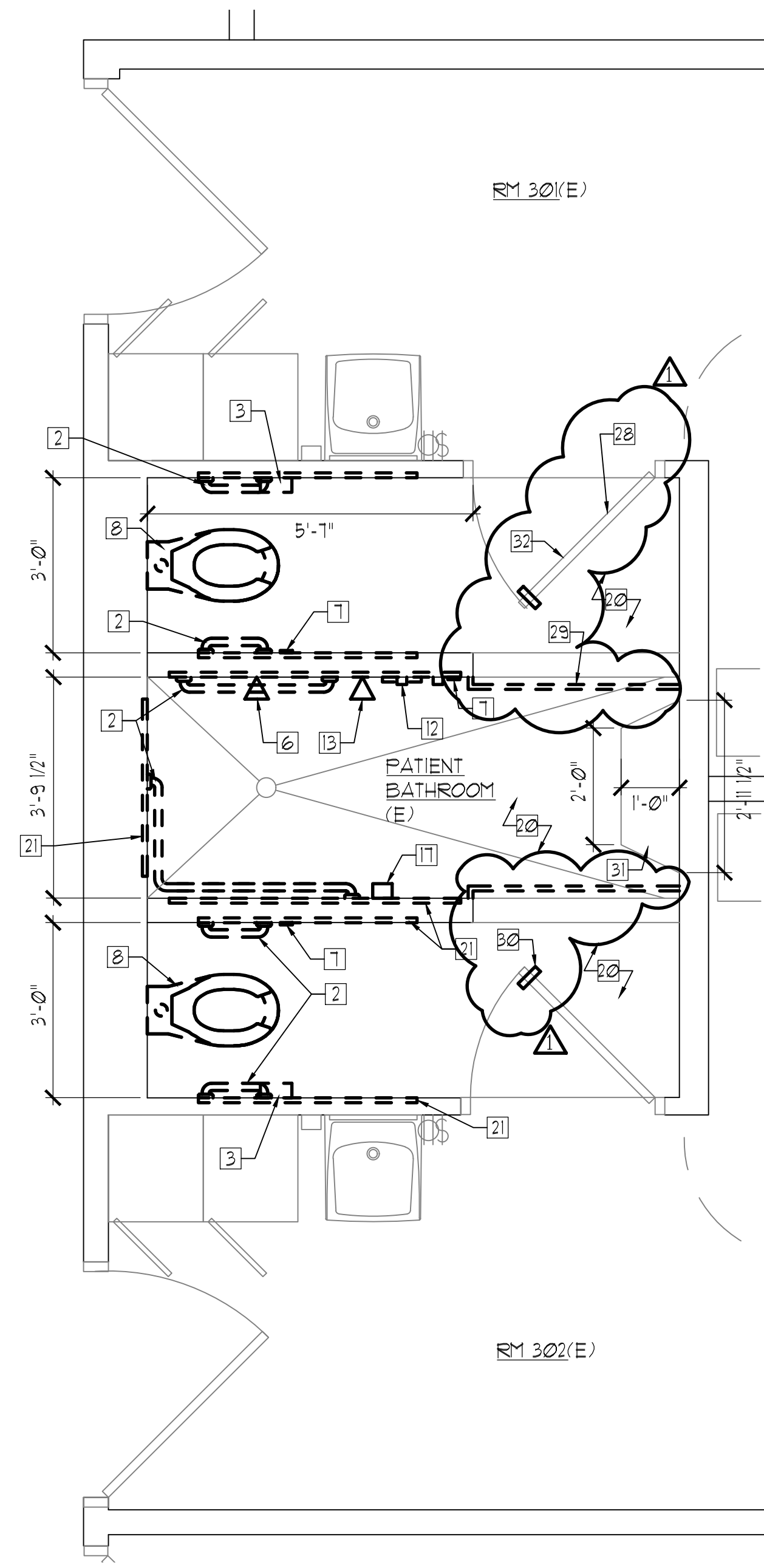


B010

DEMOLITION/EXIST FLOOR PLAN

SCALE: 1/2" = 1'-0"

(3rd Floor - Patient Rooms 309, 310, 311, 312, & 313)

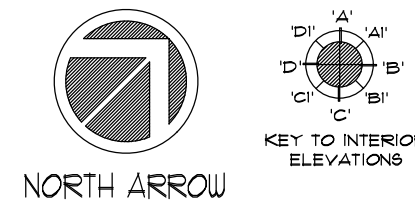


C010

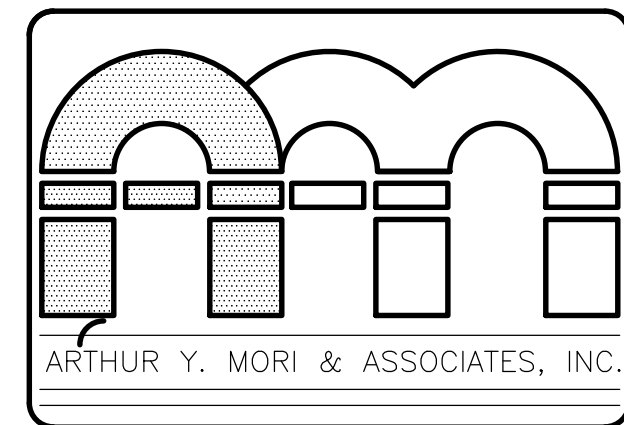
DEMOLITION/EXIST FLOOR PLAN

SCALE: 1/2" = 1'-0"

(3rd Floor - Patient Rooms 301, 302, 303, 304, 305, 306, 307, & 308)



ADD ALTERNATE 2 PROJECT AREA - MAKAI



ARCHITECTS AIA
1314 SOUTH KING / SUITE 955
HONOLULU, HAWAII 96814

ADA RENOVATIONS

Maluhia – 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

Bid Set

TMK: 1-6-009: 004

EXST/DEMO DAY ROOM AND PATIENT BATHROOM PLANS – 3RD FLOOR

JEFFREY Y. MORI
LICENSED PROFESSIONAL ARCHITECT
No. 6053
HAWAII, USA

LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

SIGNATURE

NO.	REVISION
12.23.25	ADDENDUM 1
JOB NO.	-

SHEET

A010

DATE

SEPT 18, 2025

12

OF

32

SHTS

3/4"=1'-0"
GRAPHIC SCALES 1"=1'-0"

WORK LEGEND

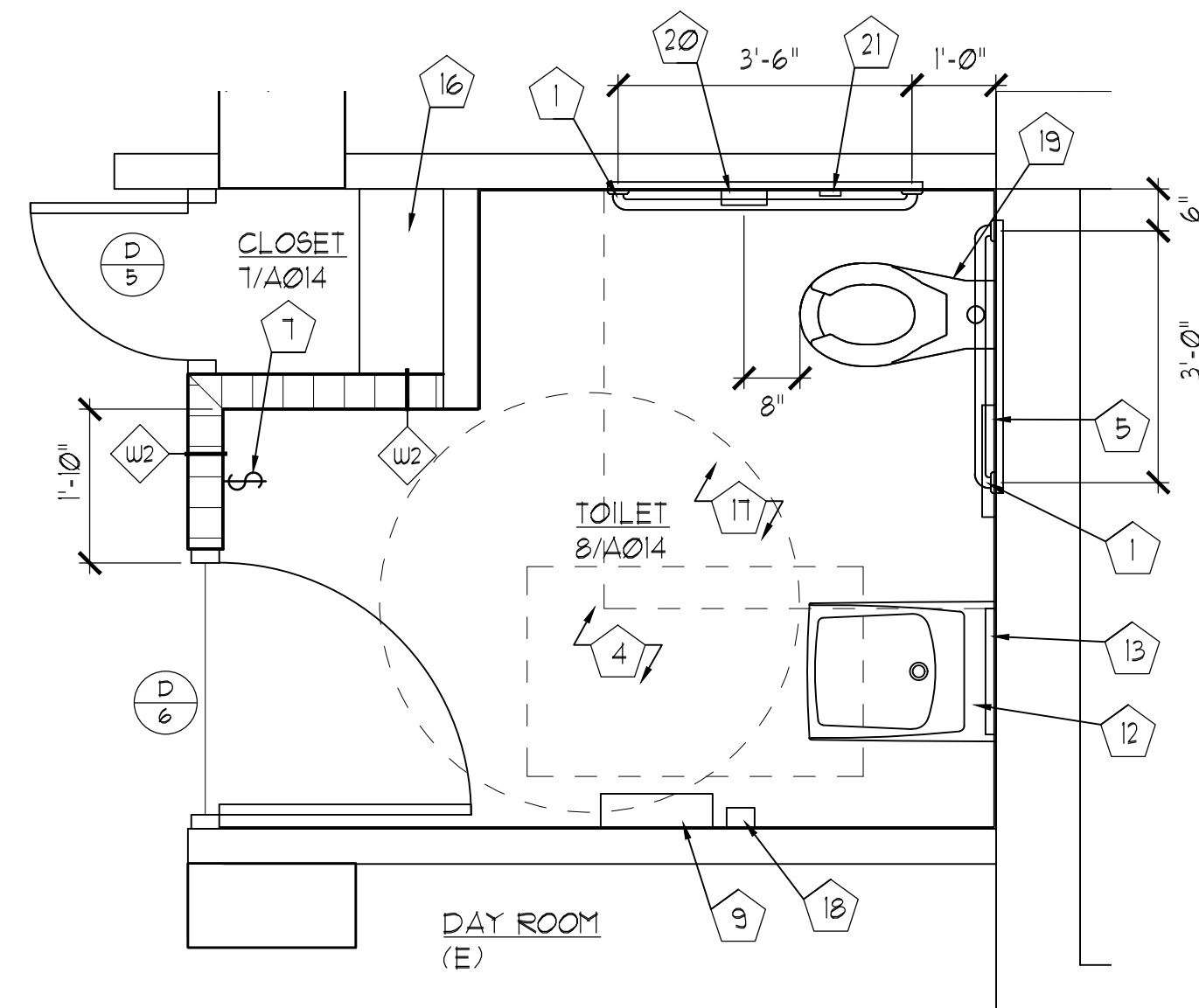
- | | |
|---|---------------------------------------|
|  | EXISTING WALL PARTITION TO REMAIN |
|  | EXISTING WALL PARTITION TO BE REMOVED |
|  | NEW WALL PARTITION |
|  | EXISTING DOOR TO REMAIN |
|  | EXISTING DOOR TO BE REMOVED |
|  | NEW DOOR |

GENERAL NOTES:

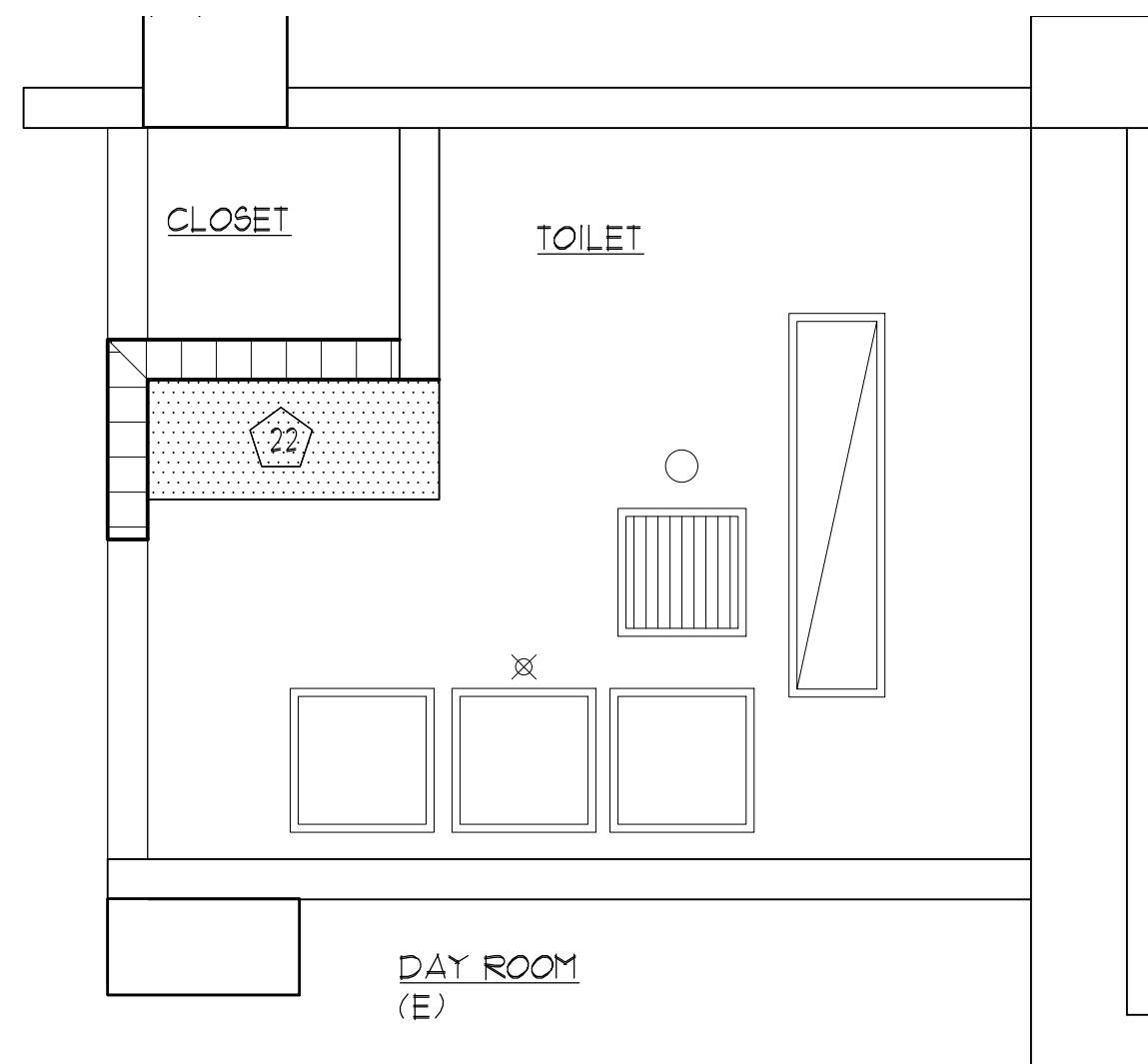
1. SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3. REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4. CUT TILE & PATCH HOLES IN WALL AS NEEDED.

NEW WORK NOTES

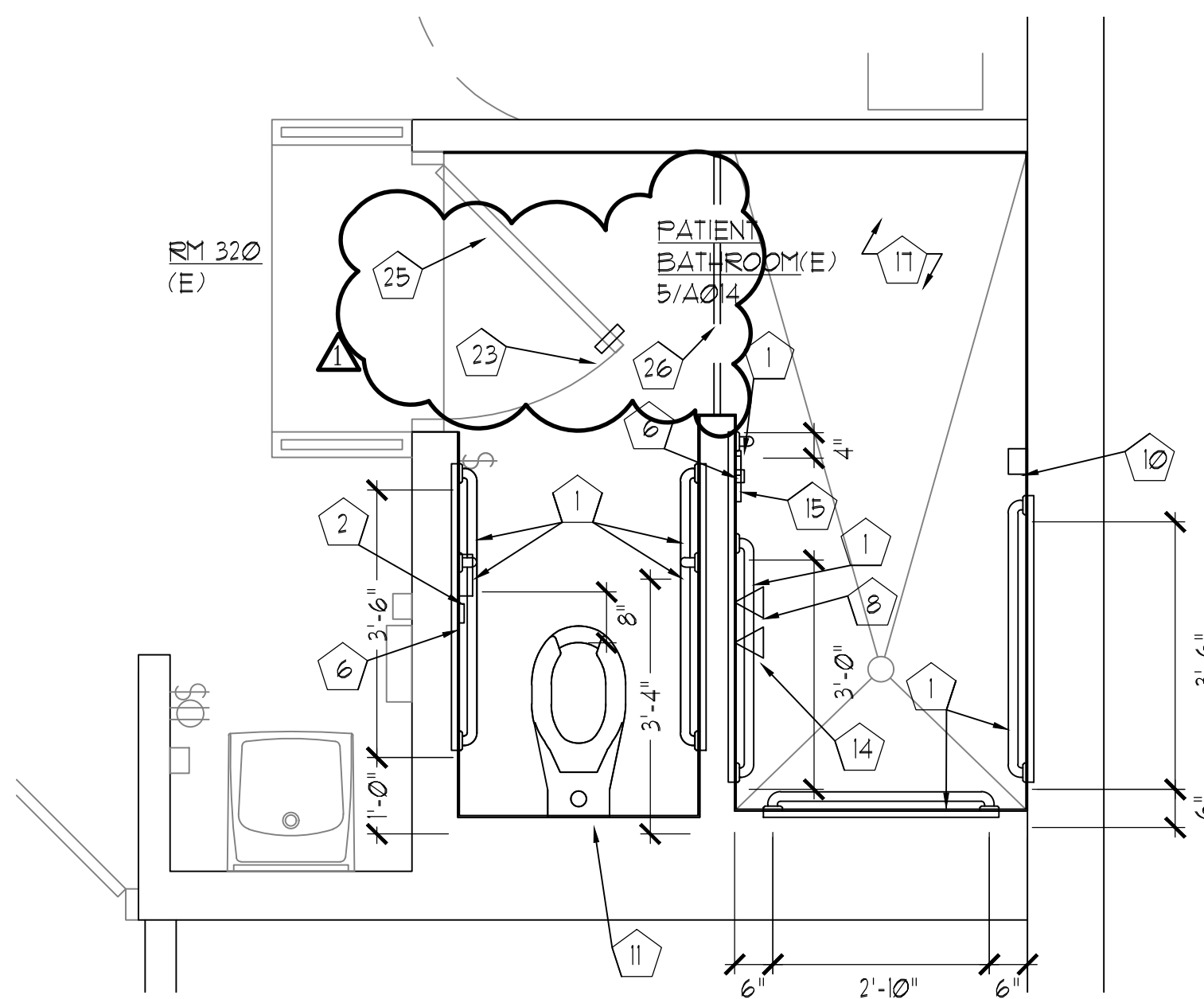
SYMBOL	DESCRIPTION
1	NEW GRAB BAR w/ BACKING IN WALL
2	RELOCATED TOILET PAPER DISPENSER
3	NOT USED
4	NEW SHEET VINYL FLOORING
5	RELOCATED TOILET SEAT DISPENSER
6	RELOCATED NURSE CALL
7	RELOCATED LIGHT SWITCH
8	RELOCATED HANDHELD SHOWER HEAD MOUNT
9	RELOCATED PAPER TOWEL DISPENSER
10	RELOCATED SOAP DISPENSER
11	REINSTALLED WATER CLOSET
12	REINSTALLED LAVATORY
13	REINSTALLED MIRROR
14	REINSTALLED SHOWER HEAD
15	REINSTALLED SHOWER CONTROLS
16	NEW ADJUSTABLE SHELVES
17	NEW SOLID SURFACE WAINSCOT, TYP. - SEE INTERIOR ELEVATIONS
18	NEW SOAP DISPENSER
19	NEW WATER CLOSET
20	NEW TOILET PAPER DISPENSER
21	NEW NURSE CALL
22	NEW GYP BD CEILING
23	NEW LEVER HANDLE LATCHSET, TYP.
24	PAINT EXISTING CONCRETE BENCH, TYP.
25	PAINT EXISTING DOOR & FRAME (BOTH SIDES), TYP.
26	REINSTALLED CURTAIN ROD ABOVE, TYP.



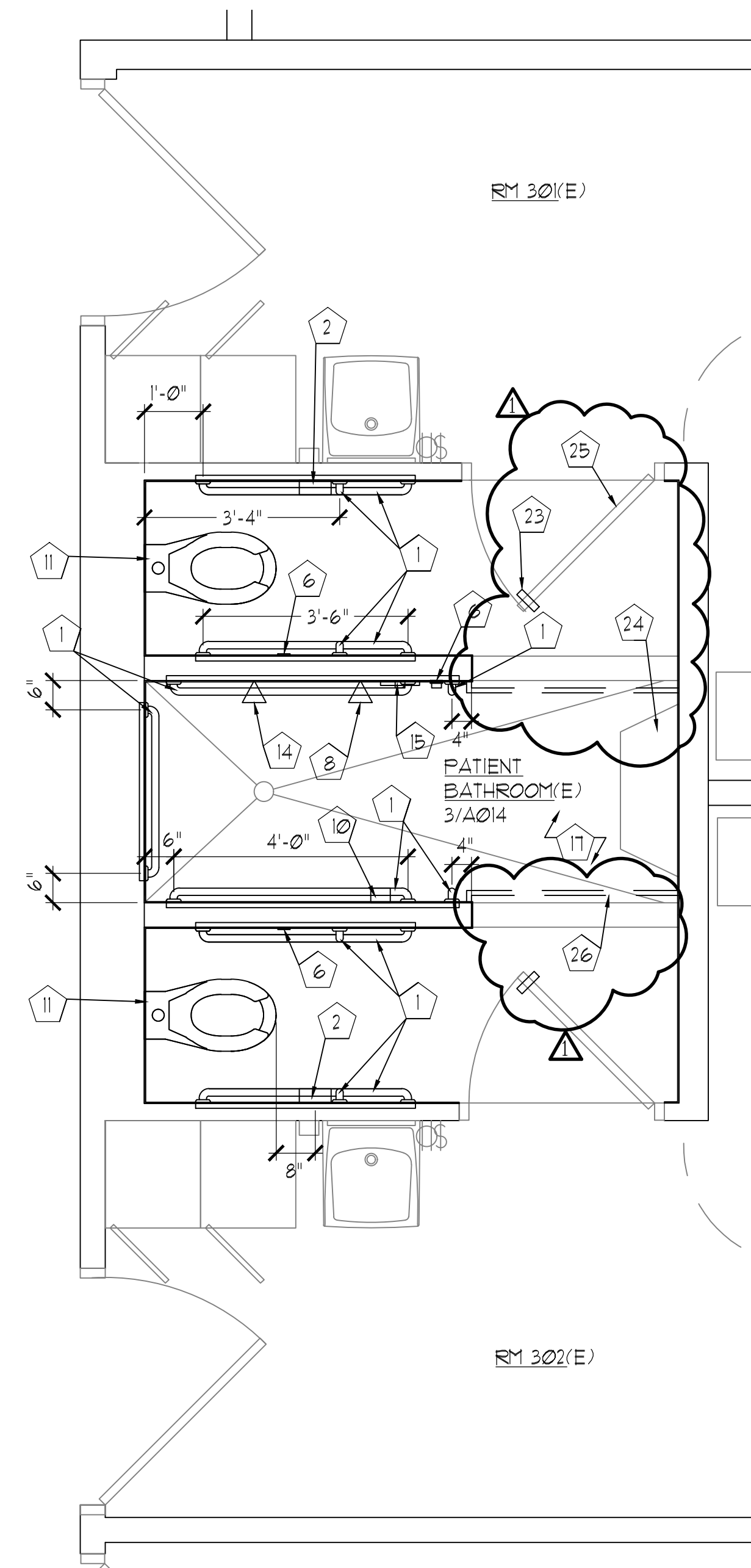
NEW FLOOR PLAN
SCALE: 1/2" = 1'-0"
(3rd Floor - Day Room)



NEW CEILING PLAN
SCALE: 1/2" = 1'-0"
(3rd Floor - Day Room)



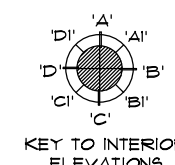
NEW FLOOR PLAN
SCALE: 1/2" = 1'-0"
(3rd Floor - Patient Rooms 309, 310, 311, 312, & 313)



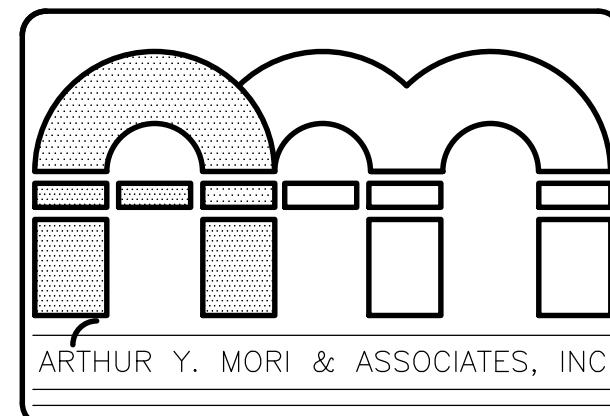
NEW FLOOR PLAN

SCALE: 1/2" = 1'-0"

(3rd Floor - Patient Rooms 301, 302, 303, 304, 305, 306, 307, & 308)



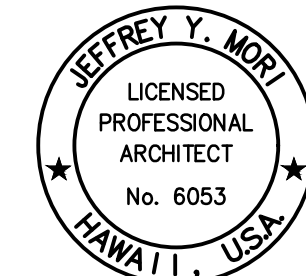
ADD ALTERNATE 2 PROJECT AREA - MAKAI



ARCHITECTS AIA
1314 SOUTH KING / SUITE 955
HONOLULU, HAWAII 96814

ADA RENOVATIONS
Matuhia – 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

Bid	Set
1	1
2	1
3	1
4	1
5	1
6	1
7	1
8	1
9	1
10	1
11	1
12	1
13	1
14	1
15	1
16	1
17	1
18	1
19	1
20	1
21	1
22	1
23	1
24	1
25	1
26	1
27	1
28	1
29	1
30	1
31	1
32	1
33	1
34	1
35	1
36	1
37	1
38	1
39	1
40	1
41	1
42	1
43	1
44	1
45	1
46	1
47	1
48	1
49	1
50	1
51	1
52	1
53	1
54	1
55	1
56	1
57	1
58	1
59	1
60	1
61	1
62	1
63	1
64	1
65	1
66	1
67	1
68	1
69	1
70	1
71	1
72	1
73	1
74	1
75	1
76	1
77	1
78	1
79	1
80	1
81	1
82	1
83	1
84	1
85	1
86	1
87	1
88	1
89	1
90	1
91	1
92	1
93	1
94	1
95	1
96	1
97	1
98	1
99	1
100	1



LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

SIGNATURE

NO.		REVISION
	12.23.25	ADDENDUM 1
		
		
		
		
JOB NO.		—

SHEET

A011

DATE SEPT 18, 2025

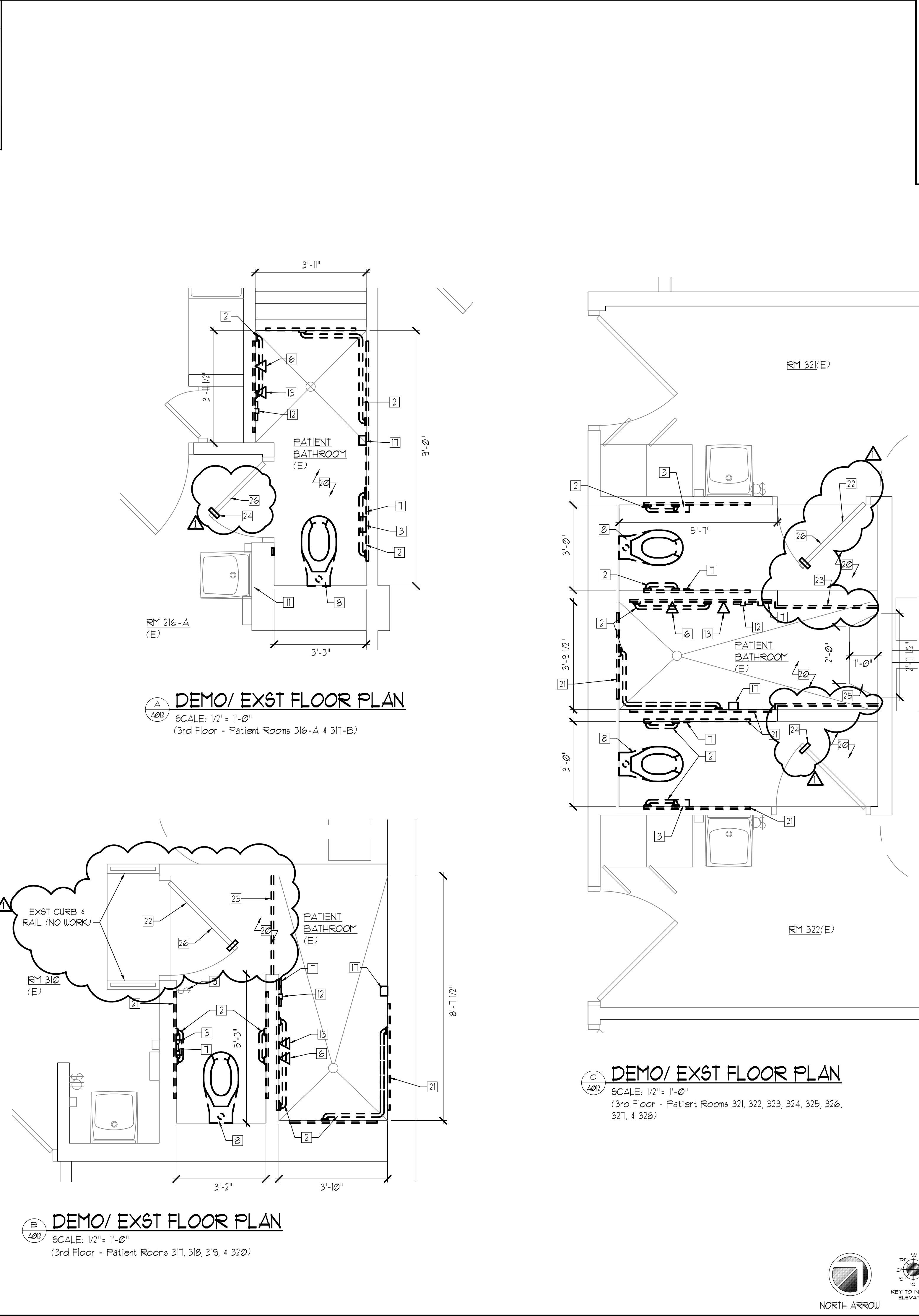
13 OF 32 SHTS

 $3/4" = 1'-0"$

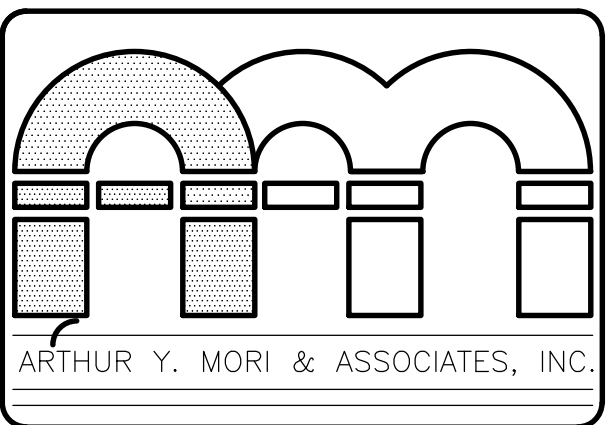
WORK LEGEND	
	EXISTING WALL PARTITION TO REMAIN
	EXISTING WALL PARTITION TO BE REMOVED
	NEW WALL PARTITION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

DEMOLITION WORK NOTES	
SYMBOL	DESCRIPTION
[1]	NOT USED
[2]	REMOVE GRAB BAR
[3]	REMOVE TOILET PAPER DISPENSER
[4]	NOT USED
[5]	NOT USED
[6]	REMOVE & SALVAGE SHOWER HEAD
[7]	REMOVE & RELOCATE NURSE CALL
[8]	REMOVE & SALVAGE WATER CLOSET
[9]	EXISTING LIGHT SWITCH TO REMAIN
[10]	REMOVE & RELOCATE LIGHT SWITCH
[11]	EXISTING MIRROR TO REMAIN
[12]	REMOVE & SALVAGE SHOWER CONTROLS
[13]	REMOVE & RELOCATE HANDHELD SHOWER HEAD MOUNT
[14]	EXISTING PAPER TOWEL DISPENSER TO REMAIN
[15]	NOT USED
[16]	EXISTING SOAP DISPENSER TO REMAIN
[17]	REMOVE & RELOCATE SOAP DISPENSER
[18]	NOT USED
[19]	NOT USED
[20]	EXISTING FLOORING TO REMAIN, PROTECT AS NECESSARY
[21]	REMOVE PORTION OF WALL AS NECESSARY FOR PLUMBING & BACKING, TYP.
[22]	EXISTING KICK PLATE TO REMAIN, TYP.
[23]	REMOVE & SALVAGE CURTAIN ROD, TYP.
[24]	REMOVE & REPLACE LATCHSET, TYP.
[25]	PREP CONCRETE BENCH AS NECESSARY FOR NEW PAINT FINISH
[26]	PREP EXISTING DOOR & FRAME AS NECESSARY FOR NEW PAINT FINISH, TYP.

GENERAL NOTES:	
1.	SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2.	SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3.	REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4.	CUT TILE & PATCH HOLES IN WALL AS NEEDED.
5.	PREP EXISTING WALL TILE FOR ADHESION BY CLEANING & SANDING GLOSSY TILES. APPLY A PRIMER WHERE NEEDED.



ADD ALTERNATE 3 PROJECT AREA - MAUKA



ARCHITECTS AIA
1314 SOUTH KING / SUITE 955
HONOLULU, HAWAII 96814

ADA RENOVATIONS
Maluhia – 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

Bid Set

TMK: 1-6-009: 004

SHEET TITLE
EXIST/DEMO PATIENT BATHROOM PLANS – 3RD FLOOR

JEFFREY Y. MORI
LICENSED PROFESSIONAL ARCHITECT
No. 6053
HAWAII, USA

LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii).

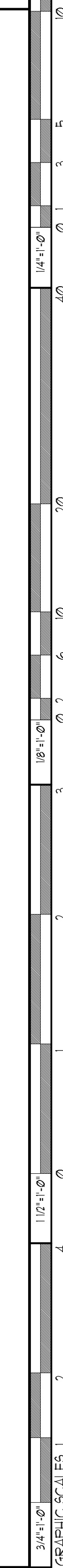
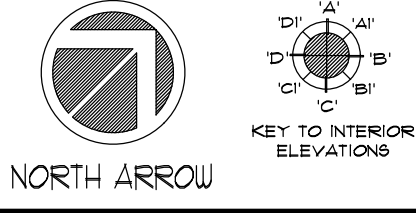
SIGNATURE

NO.	REVISION
	12.23.25 ADDENDUM 1
JOB NO.	-

SHEET
A012

DATE
SEPT 18, 2025

14 OF 32 SHTS



WORK LEGEND

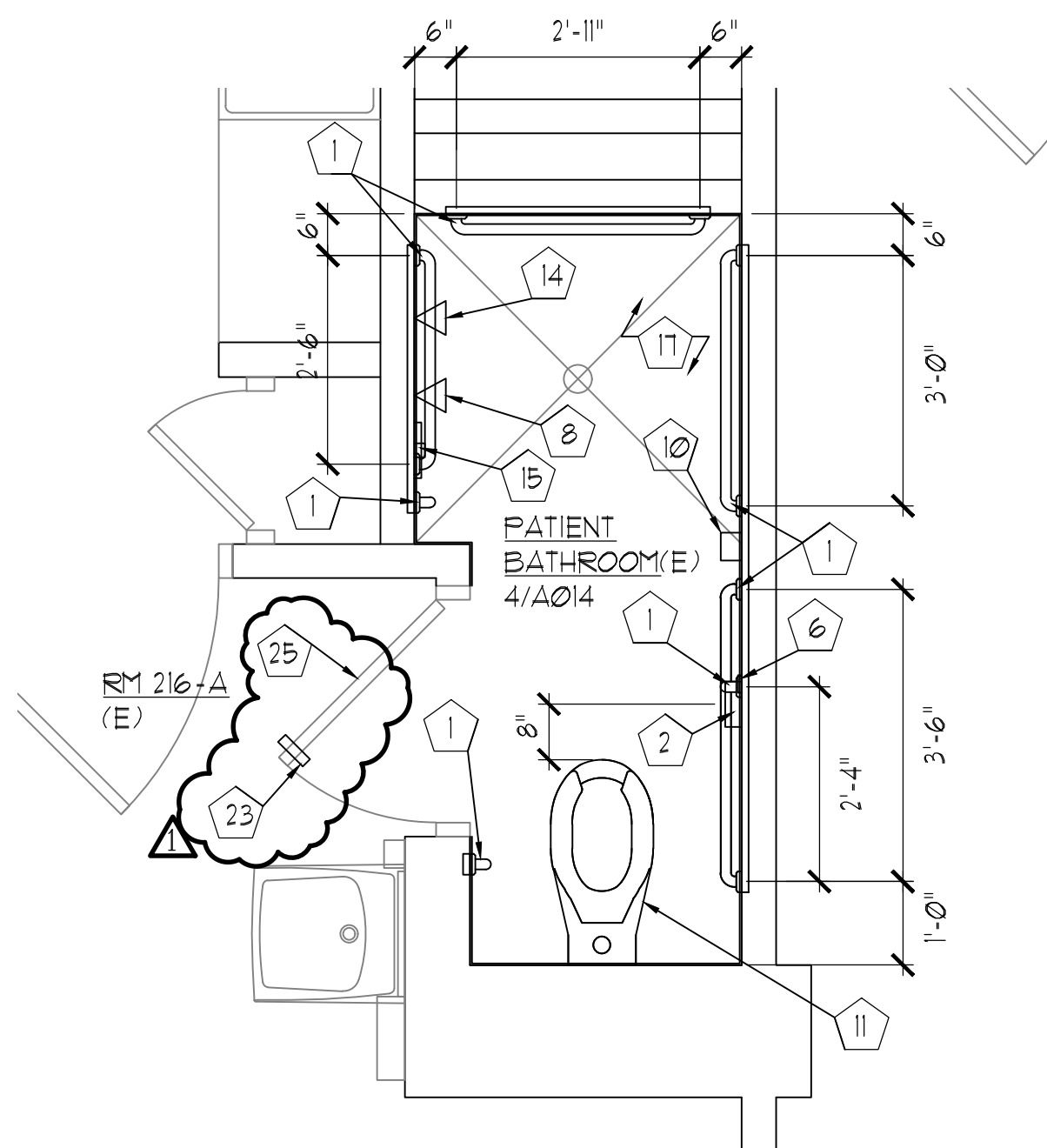
- | | |
|---|---------------------------------------|
|  | EXISTING WALL PARTITION TO REMAIN |
|  | EXISTING WALL PARTITION TO BE REMOVED |
|  | NEW WALL PARTITION |
|  | EXISTING DOOR TO REMAIN |
|  | EXISTING DOOR TO BE REMOVED |
|  | NEW DOOR |

GENERAL NOTES:

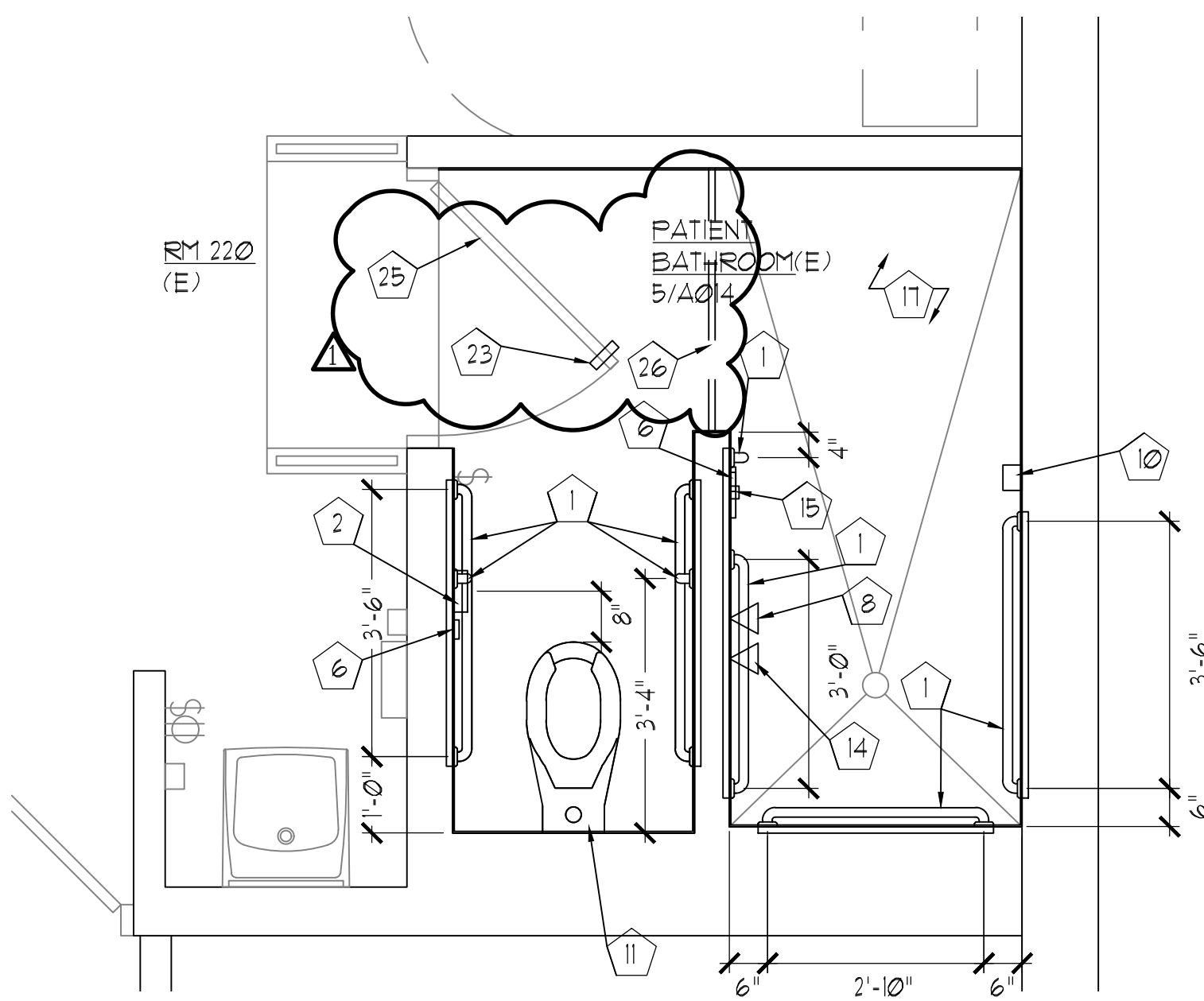
1. SEE MECHANICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
2. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL WORK NOTES.
3. REFER TO SHEET A000 FOR REQUIRED ADA TOILET FIXTURE & ACCESSORY HEIGHTS.
4. CUT TILE & PATCH HOLES IN WALL AS NEEDED.

NEW WORK NOTES

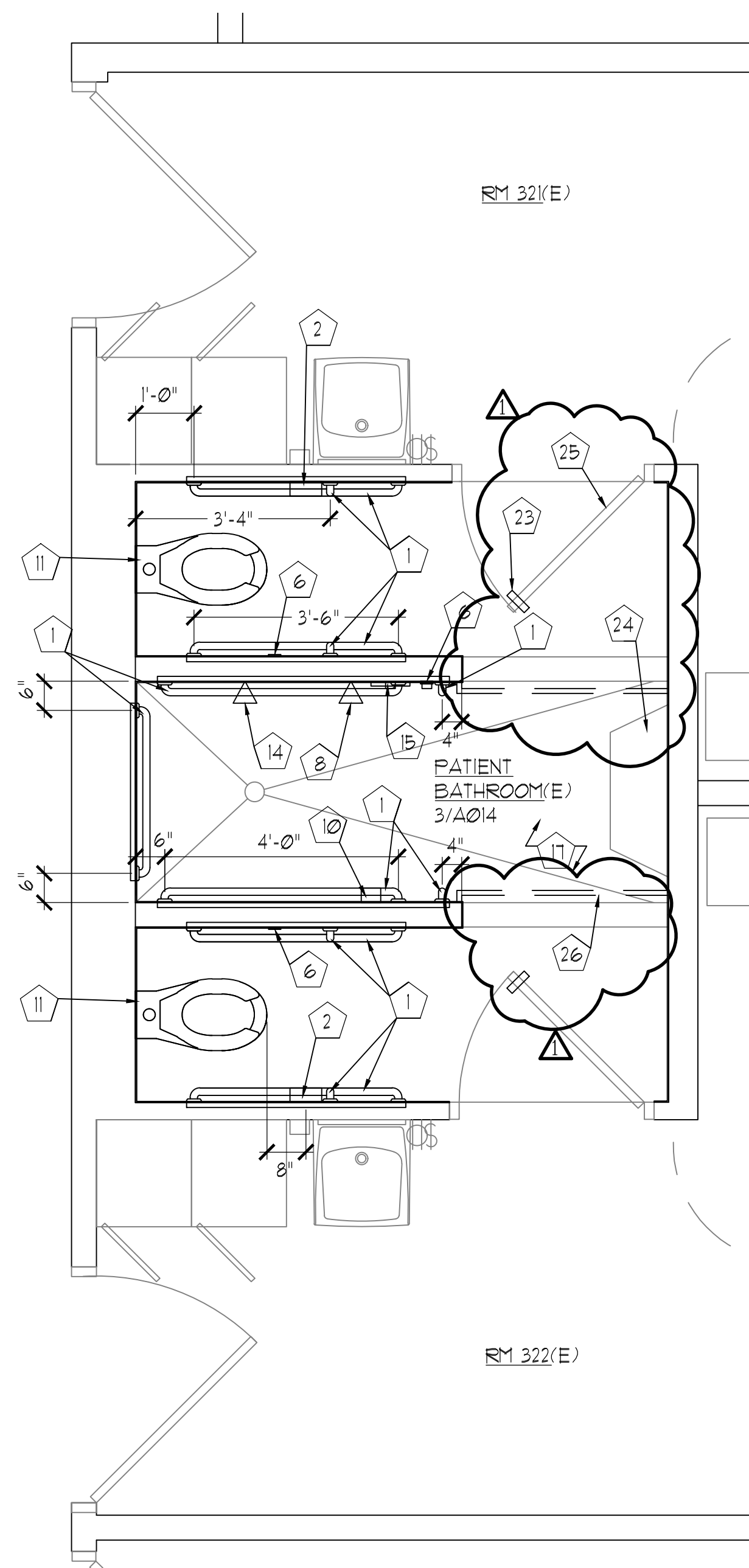
SYMBOL	DESCRIPTION
1	NEW GRAB BAR w/ BACKING IN WALL
2	RELOCATED TOILET PAPER DISPENSER
3	NOT USED
4	NOT USED
5	NOT USED
6	RELOCATED NURSE CALL
7	NOT USED
8	RELOCATED HANDHELD SHOWER HEAD MOUNT
9	NOT USED
10	RELOCATED SOAP DISPENSER
11	REINSTALLED WATER CLOSET
12	NOT USED
13	NOT USED
14	REINSTALLED SHOWER HEAD
15	REINSTALLED SHOWER CONTROLS
16	NOT USED
17	NEW SOLID SURFACE WAINSCOT, TYP. - SEE INTERIOR ELEVATIONS
18	NOT USED
19	NOT USED
20	NOT USED
21	NOT USED
22	NOT USED
23	NEW LEVER HANDLE LATCHSET, TYP.
24	PAINT EXISTING CONCRETE BENCH, TYP.
25	PAINT EXISTING DOOR & FRAME (BOTH SIDES), TYP.
26	REINSTALLED CURTAIN ROD ABOVE, TYP.



NEW FLOOR PLAN
SCALE: 1/2" = 1'-0"
(3rd Floor - Patient Rooms 316-A & 317-B)



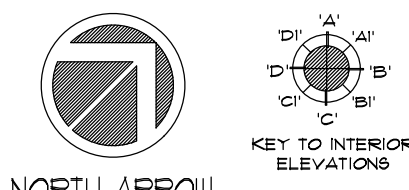
NEW FLOOR PLAN
SCALE: 1/2" = 1'-0"
(3rd Floor - Patient Rooms 317, 318, 319, & 320)



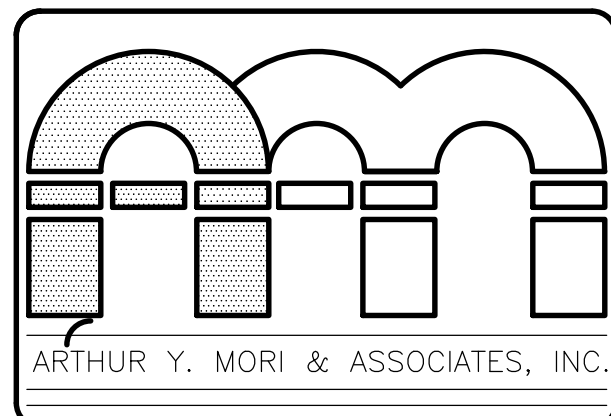
NEW FLOOR PLAN

SCALE: 1/2" = 1'-0"

(3rd Floor - Patient Rooms 321, 322, 323, 324, 325, 326, 327, 4 328)



ADD ALTERNATE 3 PROJECT AREA - MAUKA



ARCHITECTS AIA
1314 SOUTH KING / SUITE 955
HONOLULU, HAWAII 96814

ADA RENOVATIONS
Matuhia – 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

TMK: 1-6-009: 004

Bid Set

SHEET TITLE
NEW PATIENT BATHROOM PLANS - 3RD FLOOR



LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii

SIGNATURE _____

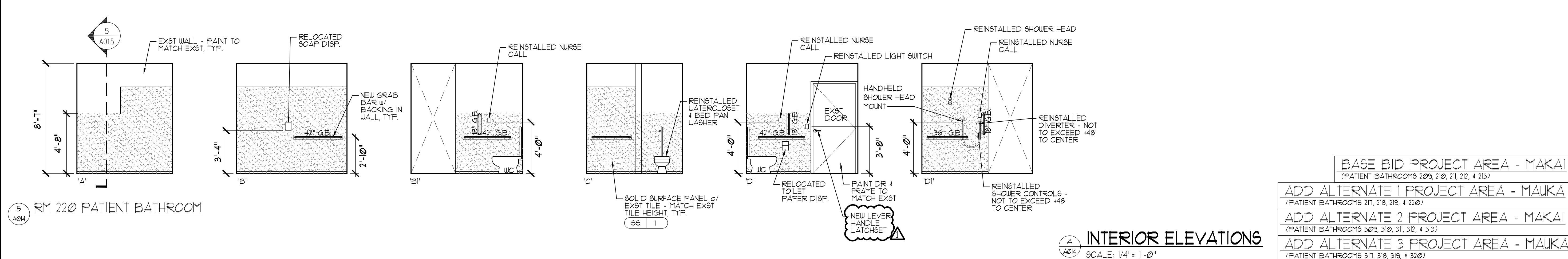
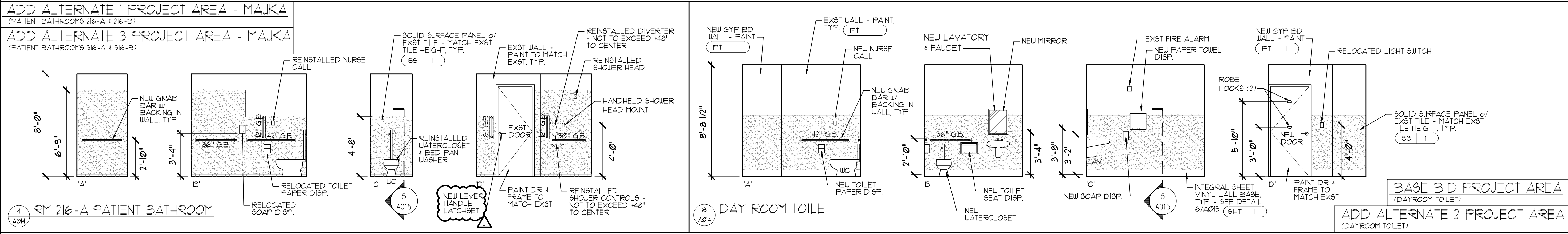
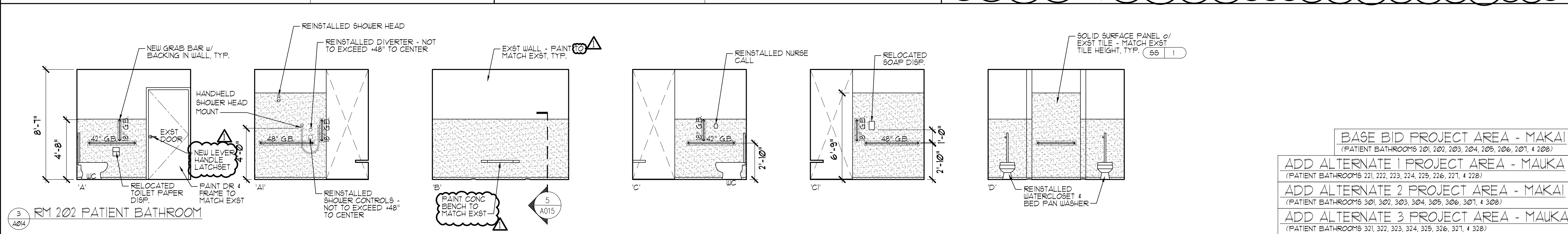
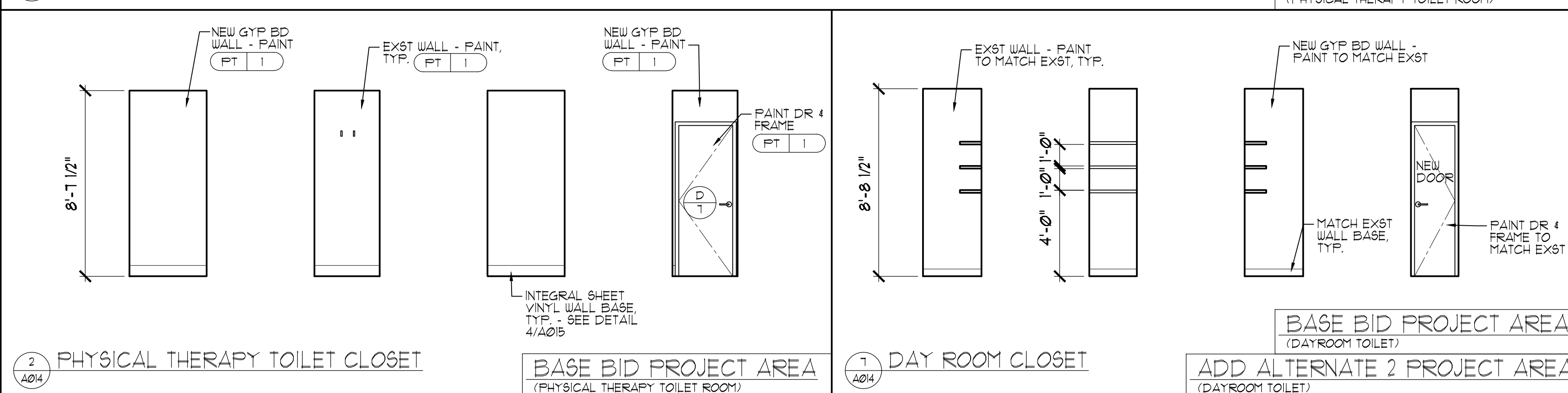
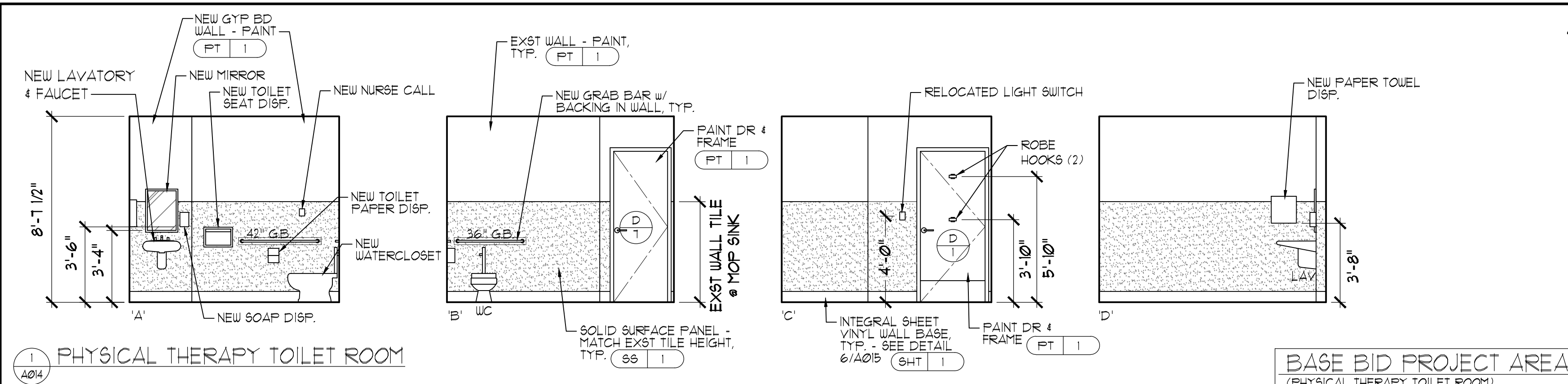
NO.		REVISION
	12.23.25	ADDENDUM 1
		
		
		
		
JOB NO.	—	

SHEET

DATE SEPT 18, 2025

A013

15 OF 32 SHTS



INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

ARTHUR Y. MORI & ASSOCIATES, INC.

ARCHITECTS AIA
1314 SOUTH KING / SUITE 955
HONOLULU, HAWAII 96814

ADA RENOVATIONS
Maluhia - 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

TWK: 1-6-009-004

INTERIOR ELEVATIONS

Bid Set

JEFFREY Y. MORI
LICENSED PROFESSIONAL ARCHITECT
No. 6053
HAWAII, U.S.A.

LICENSE EXPIRES: 4/30/26

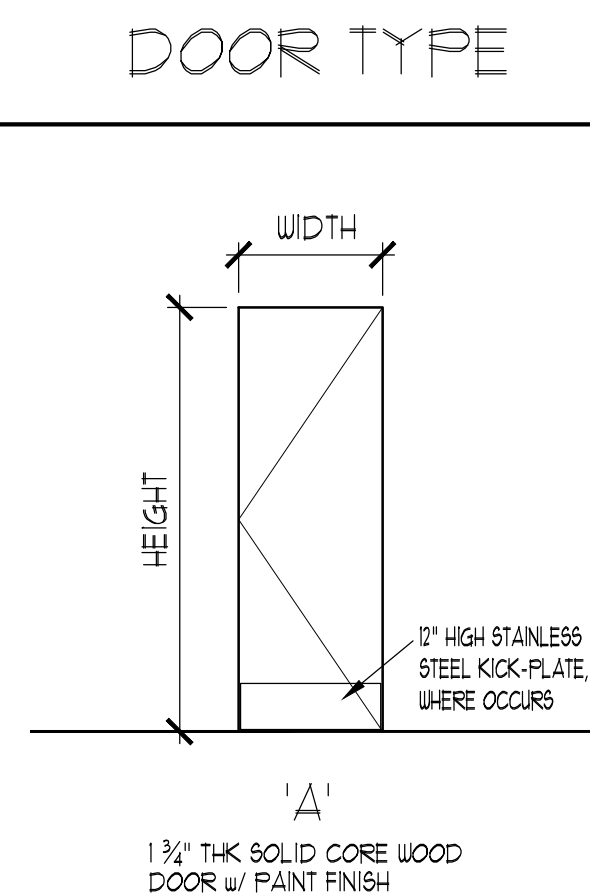
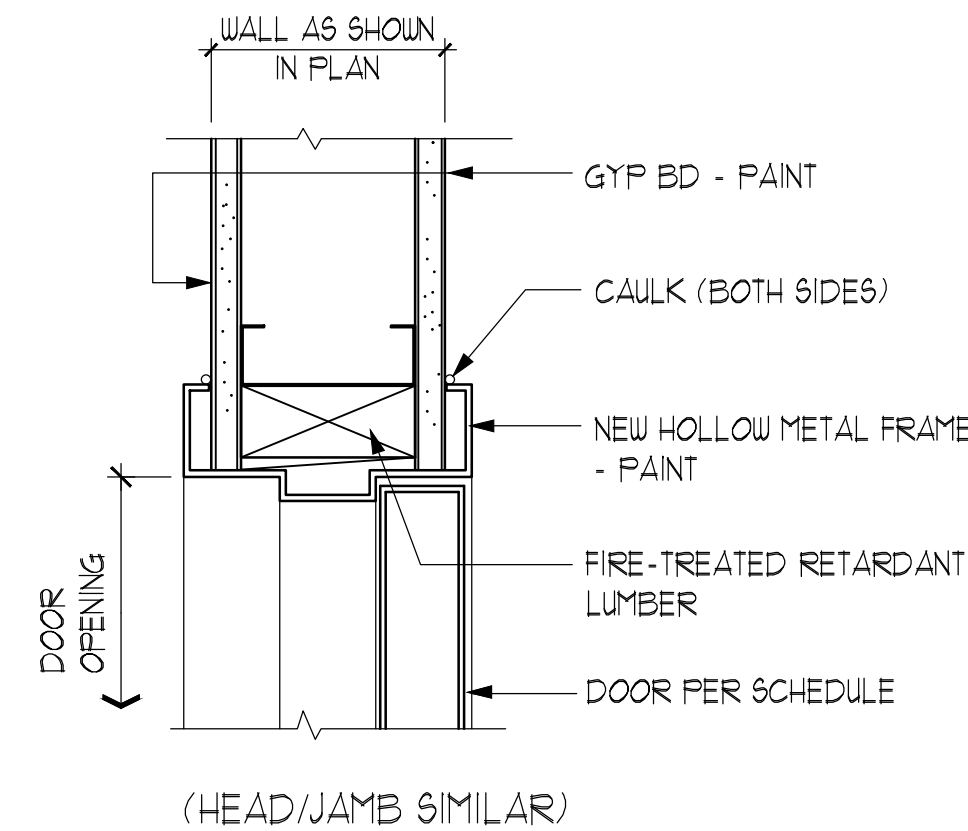
This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs, entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

NO.	REVISION
12.23.25	ADDENDUM 1

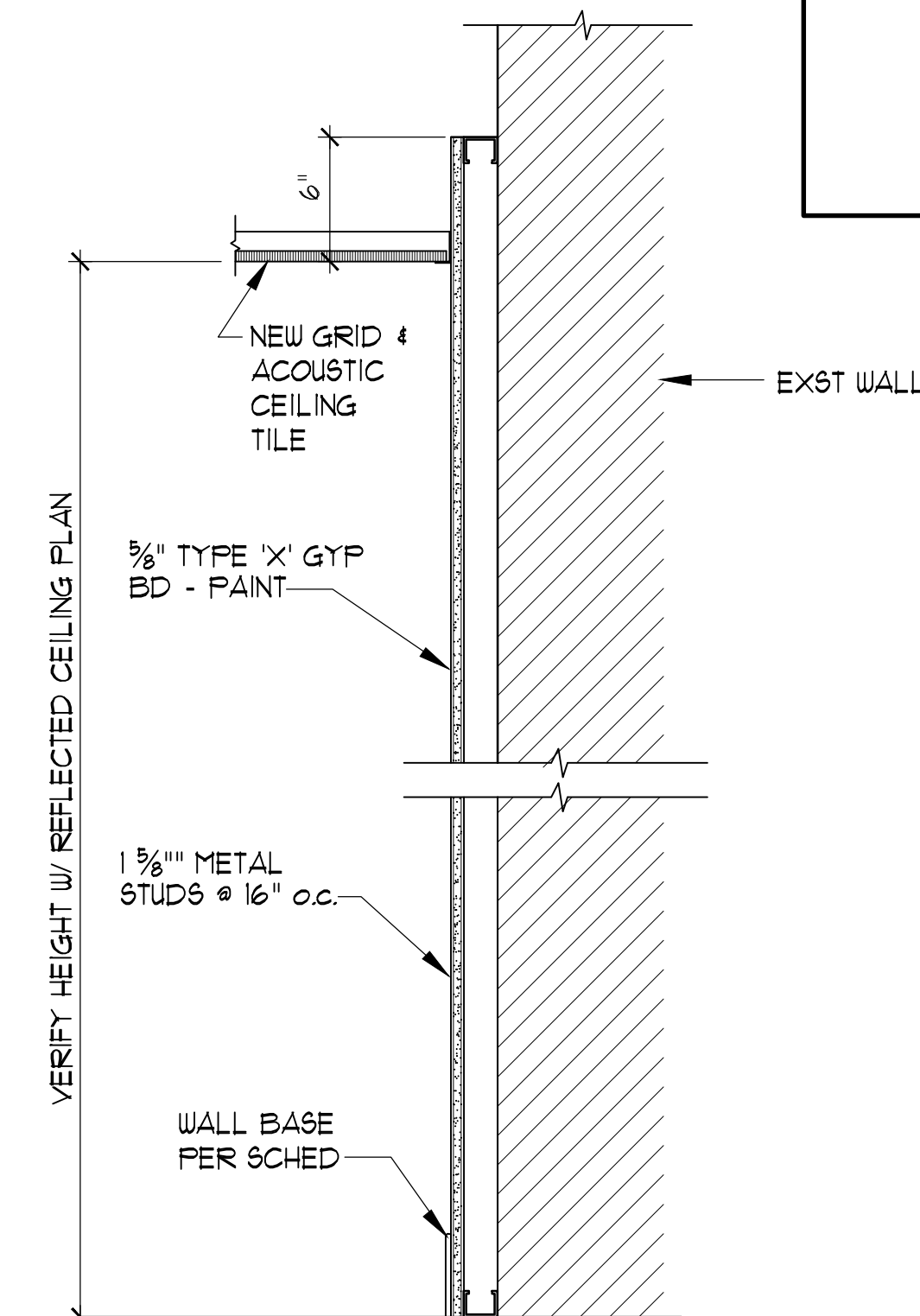
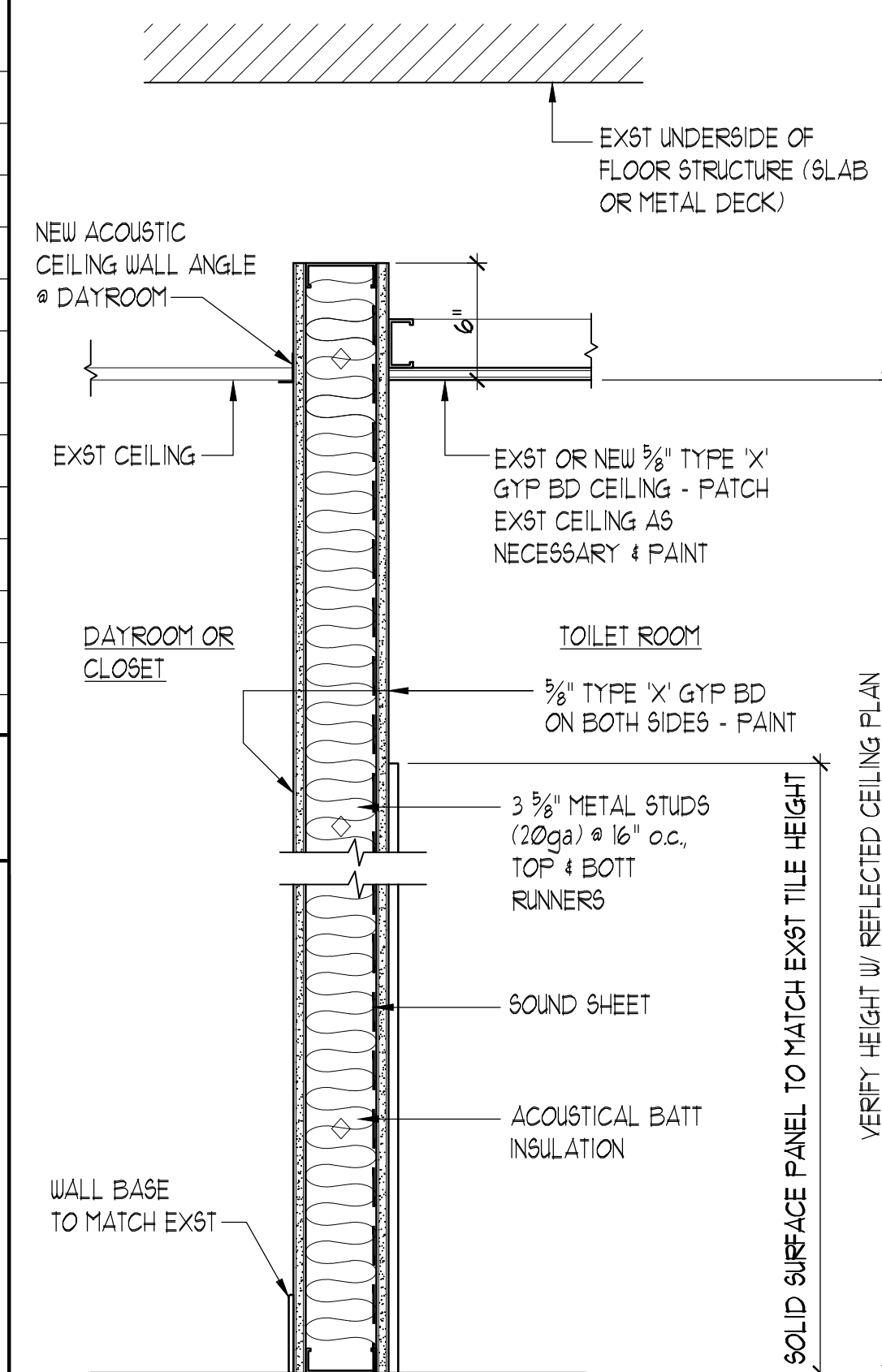
JOB NO.	SHEET	DATE
-	A014	SEPT 18, 2025

16 OF 32 SHTS

DOOR SCHEDULE

[illegible]

DOOR TYPE

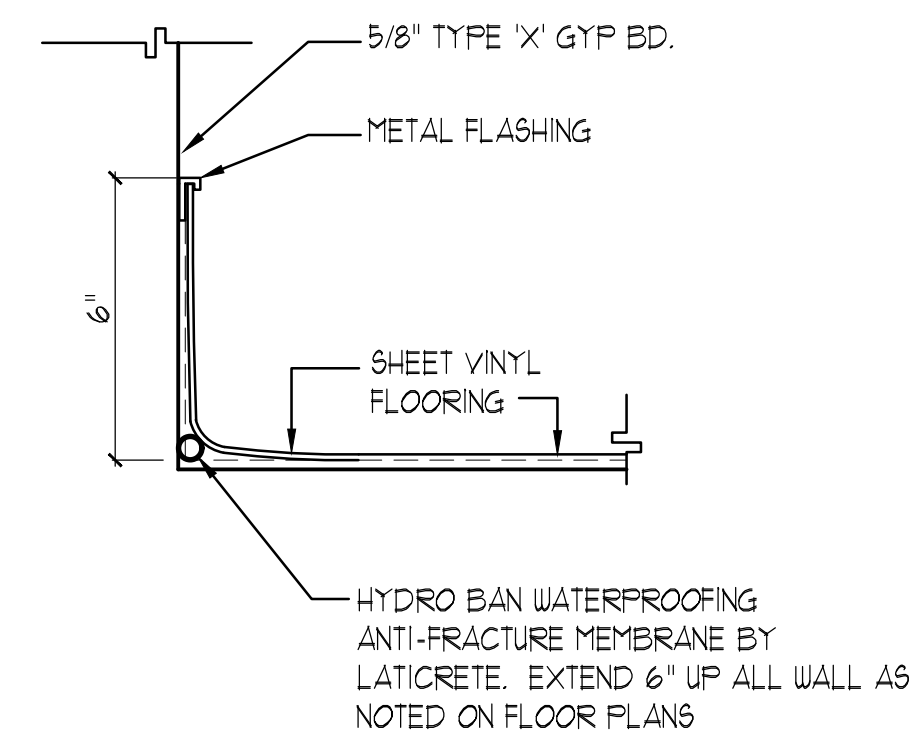
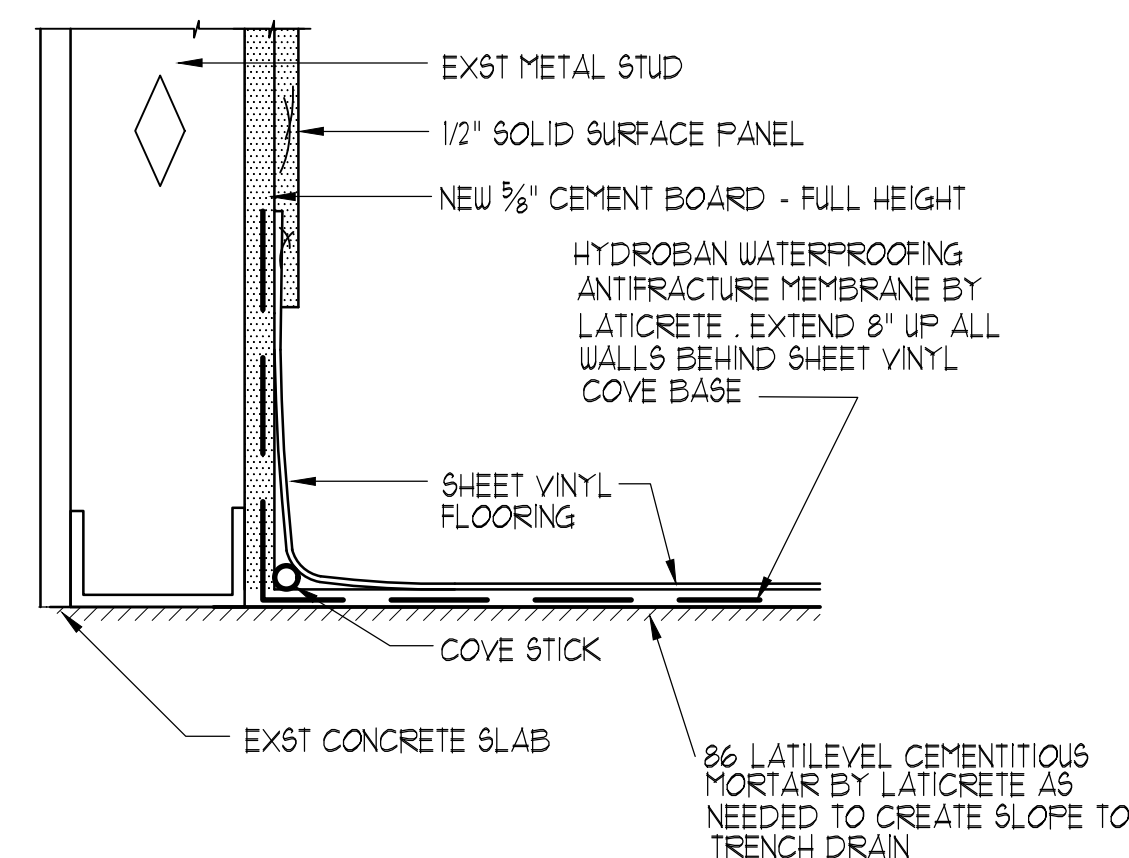


WALL DETAIL

FURRED WALL DETAIL

FINISH SPECIFICATIONS

RESILIENT FLOORING	SHT-1 <u>MOHAWK GROUP</u> COLLECTION: JUNIPERUS ii COLOR: 921 GRAY TINT HOMOGENEOUS VINYL SHEET & INTEGRAL BASE	PAINT	PT-1 <u>BENJAMIN MOORE</u> COLOR: WINTER WHITE OC-21 LOCATION: TYPICAL WALLS & CEILING
SOLID SURFACE	SS-1 <u>CORIAN</u> COLOR: CALACATTA GREIGE		

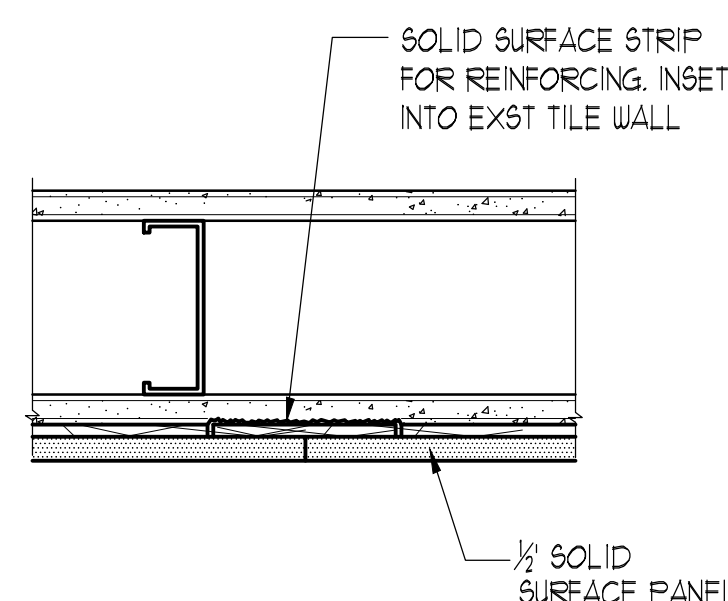
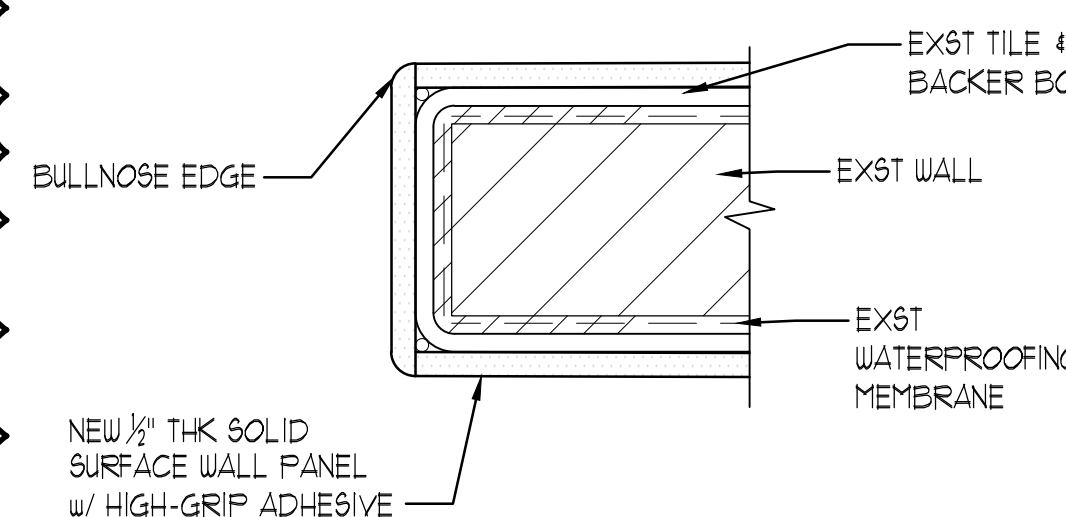


SOLID SURFACE & WALL BASE

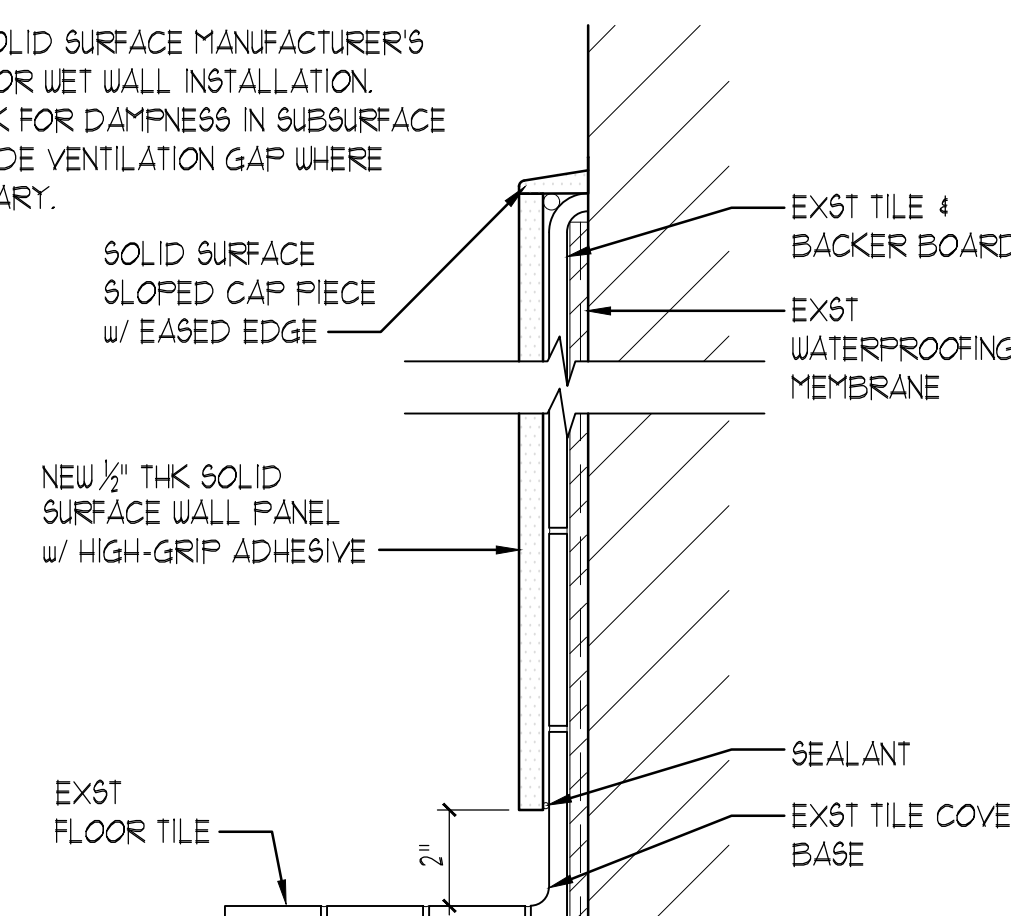
WALL BASE DETAIL

NOTE:

1. SEE SOLID SURFACE MANUFACTURER'S GUIDE FOR WET WALL INSTALLATION.
2. CHECK FOR DAMPNESS IN SUBSURFACE
4. PROVIDE VENTILATION GAP WHERE NECESSARY.

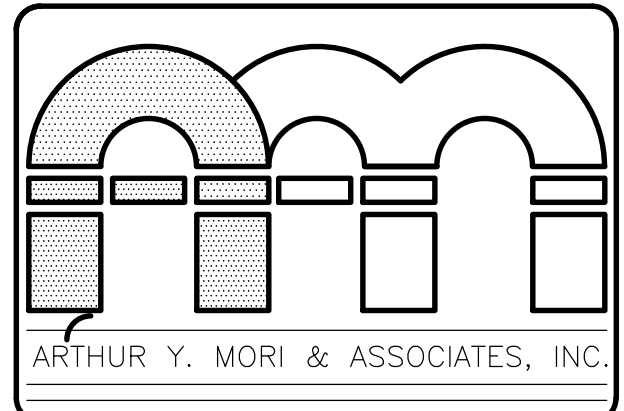


NOTE:
1. SEE SOLID SURFACE MANUFACTURER'S GUIDE FOR WET WALL INSTALLATION.
2. CHECK FOR DAMPNESS IN SUBSURFACE
4 PROVIDE VENTILATION GAP WHERE NECESSARY.



5 SOLID SURFACE PANEL DETAIL
A015 SC: 3" = 1'-0"

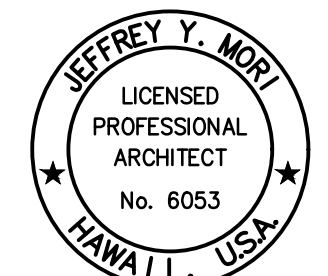
NOT USED
SC: NONE



ARCHITECTS AIA
1314 SOUTH KING / SUITE 955
HONOLULU, HAWAII 96814

ADA RENOVATIONS
Matuhia – 1st, 2nd, and 3rd Floor
1027 Hala Drive
Honolulu, Hawaii 96817

Bid Set



LICENSE EXPIRES: 4/30/26

This work was prepared by me or under my supervision and construction of this project will be under my observation (observation of construction as defined in Section 16-115 of the Hawaii Administrative Rules, Department of Commerce and Consumer Affairs entitled Professional Engineers, Architects and Surveyors of the State of Hawaii.

SIGNATURE

NO.		REVISION
-----	--	----------

	12.23.25	ADDENDUM 1
---	----------	------------

△		

		
---	--	--

[illegible]

DATE SEPT 1964

A015 17 OF 32

17 OF **32** SHOTS

 $3/4" = 1'-0"$